



**PLANNING COMMISSION  
CITY OF BROOKLYN CENTER  
REGULAR MEETING  
March 14, 2024**

*Optional public access to the Webex meeting is below:*

*Online: [logis.webex.com](https://logis.webex.com) | Phone: (312) 535-8110*

*Meeting Number (Access Code): 2630 681 9880*

*Passcode: BCPC03142024*

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**1. Call to Order — 7 p.m.**

**2. Roll Call**

**3. Approval of Agenda**

- a. Motion to Approve Regular Meeting Agenda for March 14, 2024

**4. Chairperson's Explanation**

*The Planning Commission is an advisory body. One of the Commission's functions is to hold public hearings. In the matters concerned in these hearings, the Commission makes recommendations to the City Council. The City Council makes all final decisions in these matters.*

**5. Planning Items**

- a. Planning Commission Application No. 2024-002 (**PUBLIC HEARING**)

Applicant | Property Owner: Icon LLC | Halle Properties LLC  
Addresses | Property ID: 1450 Shingle Creek Crossing | 03-118-21-41-0037

Summary: The Applicant is requesting review and consideration of a proposal to convert the former Discount Tire located within the Shingle Creek Crossing shopping center to an Icon Beauty retail store. This proposal triggers major site and building plan and Planned Unit Development (PUD) amendments under City Code .

**6. Discussion**

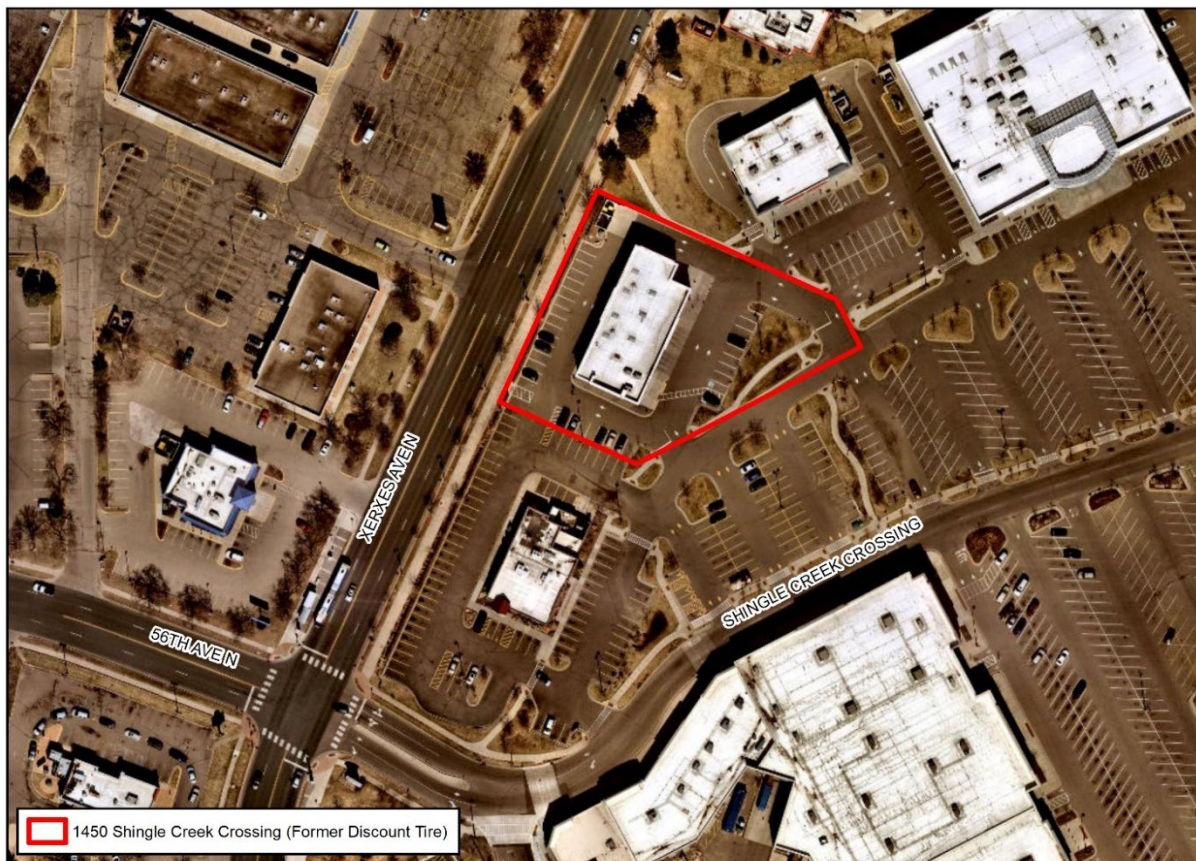
- a. City Council Updates | Upcoming Planning Commission Applications  
b. City of Brooklyn Center Business and Development Updates  
c. Legislative Updates

**7. Adjournment**

**Planning Commission Report**  
**Meeting Date: March 14, 2024**

- Application Filed: 02/13/2024
- Review Period (60-day) Deadline: 04/13/2024
- Extension Declared: No
- Extended Review Period Deadline:

**Application No.** 2024-002  
**Applicant | Property Owner:** Icon LLC | Halle Properties  
**Location | PID:** 1450 Shingle Creek Crossing | 03-118-21-41-0037  
**Requests:** Site and Building Plan (Major) and Planned Unit Development Amendments



**Map 1.** Subject Property Location.

**Requested Action**

Icon, LLC (“the Applicant”) is requesting review and consideration of site and building plan (major) and Planned Unit Development (PUD) amendments which would ultimately convert the former Discount Tires located at 1450 Shingle Creek Crossing (“the Subject Property”) into a beauty and cosmetics retail store—refer to Exhibit A. The Subject Property is a one-story, approximately 7,322-square foot former tire retail store that provided on-site installation services. The Applicant, already a tenant of Shingle Creek Crossing shopping center at 1090 Shingle Creek Crossing, and neighbor to Aspen Dental and Domino’s Pizza, has indicated a desire to not only expand their retail footprint, but purchase property within the shopping center.

Although the majority of the shopping center and tenant spaces falls under the ownership of Gatlin Development Company, certain sites, including Empire Foods (formerly Walmart), Panda Express, Pop! Car Wash, the future site of Pollo Campero, and the Subject Property, are under private ownership but subject to the architectural and signage guidelines, easements, covenants, and restrictions, and PUD Agreement originally approved for the shopping center in 2011.

A public hearing was published in the Brooklyn Center *Sun Post* on February 29, 2024 (Exhibit B), posted on the City’s website, and notifications mailed to adjacent properties and property owners. To date, City staff is in receipt of one comment from business owner Matt Durand (Exhibit C).

**Existing Conditions**



**Image 1.** Existing Site Conditions at Subject Property.

**Background**

The Subject Property is being considered for the retail sale of beauty and cosmetic items. The Subject Property originally received approval as a pad site for Gatlin Development Company under what was then the 2013 Shingle Creek Crossing Planned Unit Development Master Plan. The then proposed approximately 7,322-square foot Discount Tire (identified as Building Site A) ultimately received approval under Planning Commission Application No. 2013-017 and City Council Resolution No. 2013-130.

The Subject Property had earlier been contemplated for a slightly larger 8,400-square foot building; however, as has occurred numerous times throughout the development of the shopping center, amendments were made to the size of the building, although the general configuration and parallel orientation to Xerxes Avenue North remained the same between the original 2011 PUD plan and the approved 2013 PUD plan for Building Site A.

The Subject Property currently sits on a 1.02-acre parcel and was approved with 36 on-site parking stalls (4.92 stalls of parking per 1,000 square feet). The existing building was approved with three (3) bay doors to accommodate tire and wheel repair and replacement. Parking was provided for on three (3) sides of the property, with a dedicated two-way drive aisle on the north end of the site, which also provided access to the trash enclosure located on the northwest side of the Subject Property. The property is accessed internally via the 56<sup>th</sup> Avenue North entrance located on the west end of the Shingle Creek Crossing shopping center, and directly off Xerxes Avenue North.

The existing interior of the former Discount Tire building provides for approximately 1,980-square feet of front entry sales and display area, including offices and restrooms. The majority of the building was reserved for automotive bays, with a small portion of the building dedicated for dead tire storage. A mezzanine level is located above the bay area.

In August 2022, Discount Tire closed its Brooklyn Center location. The Subject Property has remained vacant since.

The Applicant and development team approached City staff in May 2023 regarding the potential reuse of the Subject Property. City staff talked through the high-level changes and provided feedback to the development team with the intent of proceeding with submittal of a Planning Commission application by late summer; however, conversations stalled for a time. The Applicant re-engaged with City staff in early February of this year.

**Site Data:**

<b>2040 Land Use Plan:</b>	Transit-Oriented Development (TOD)
<b>Neighborhood:</b>	Centennial
<b>Current Zoning:</b>	Planned Unit Development/Commercial 2 (PUD/C2)
<b>Site Area:</b>	Approximately 1.02 acres

**Surrounding Area:**

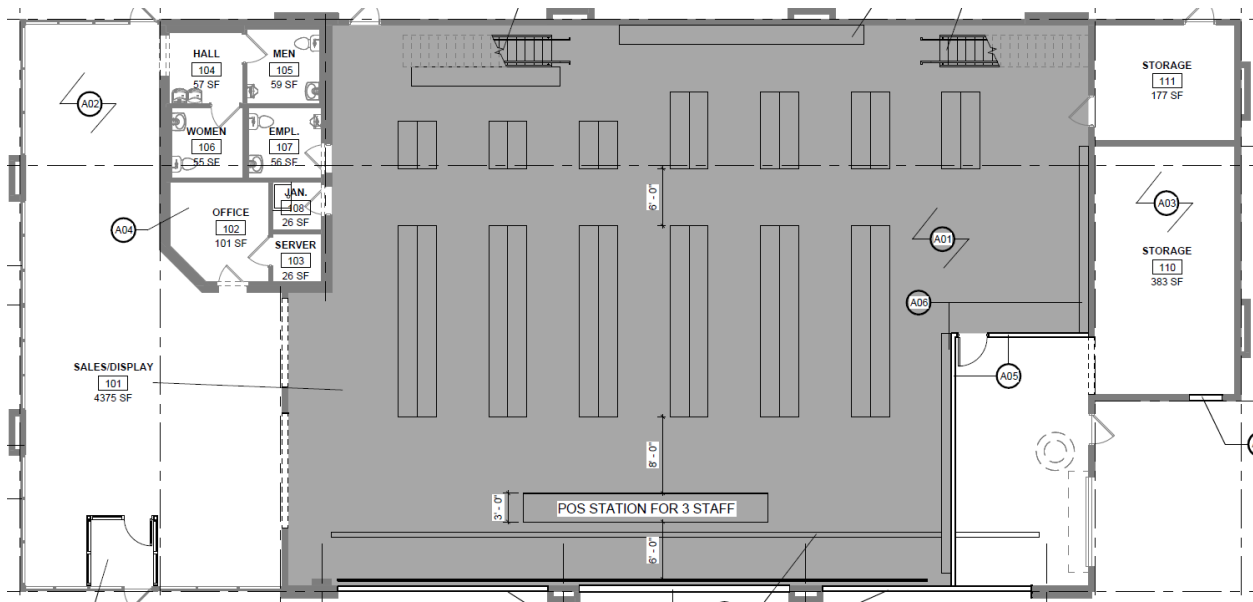
Direction	2040 Land Use Plan	Zoning	Existing Land Use
<b>North</b>	Transit Oriented Development (TOD)	PUD/C2 (Planned Unit Development/Commercial) District	Commercial (Jimmy John’s)
<b>South</b>	Transit Oriented Development (TOD)	PUD/C2 (Planned Unit Development/Commercial) District	Commercial (Future Dos Hermanos)
<b>East</b>	Transit Oriented Development (TOD)	PUD/C2 (Planned Unit Development/Commercial) District	Commercial (Parking)
<b>West</b>	Transit Oriented Development (TOD)	Transit-Oriented Development (TOD)	Commercial (IHOP)

## REQUESTS

### PLANNED UNIT DEVELOPMENT AMENDMENT

Under the City's new Unified Development Ordinance (UDO), which became effective in January 2023, Planned Unit Developments (PUDs) established after this date are processed as Conditional Use Permit (CUPs); however, PUDs established prior to this date required a formal re-zoning and ordinance amendment. Per Section 35-2103.e (*General Use Regulations*), "Planned Unit Developments, and parcels zoned as a Planned Unit Development, in accordance with prior zoning regulations, shall remain in effect and shall remain subject to any and all agreements, conditions, and standards applicable to the Planned Unit Development. Amendments shall be processed in accordance with the procedures identified for Planned Unit Developments in this UDO."

As proposed, the Applicant intends to convert the approximately 7,322-square foot former Discount Tire, which was approved with approximately 1,980 square feet of front entry sales and display (retail), office, and restrooms, and remaining approximately 5,342-square feet of automotive repair area and storage, to an all retail use with ancillary storage (no change).



**Image 2.** Proposed Area of Use Modification (in grey).

A request to amend the existing Shingle Creek Crossing Planned Unit Development and any master plan documents is required as the City's Unified Development Ordinance requires Council action any time the following "major amendment" thresholds are triggered:

1. Any decrease in the amount of approved open space;
2. **Ten (10) percent or greater change in floor area of any one (1) structure;**
3. Ten (10) percent or greater change in the approved separation of buildings;
4. Any change in the original approved setbacks from property lines;
5. Five (5) percent or greater change in the ground area covered by the project;
6. Five (5) percent or greater change in the number of parking spaces;
7. The introduction of new uses not included in the PUD approval.

While the former Discount Tire store was approved under Planning Commission Application No. 2013-017

with a retail component, the proposed changes to the floor area of the building and renovation of the former automotive bays to retail use is greater than ten (10) percent, thus triggering the necessity of an amendment to the Shingle Creek Crossing Planned Unit Development (PUD).

### **SITE AND BUILDING PLAN AMENDMENT (MAJOR)**



**Image 3.** Existing Subject Property and Access.

### **ACCESS & PARKING**

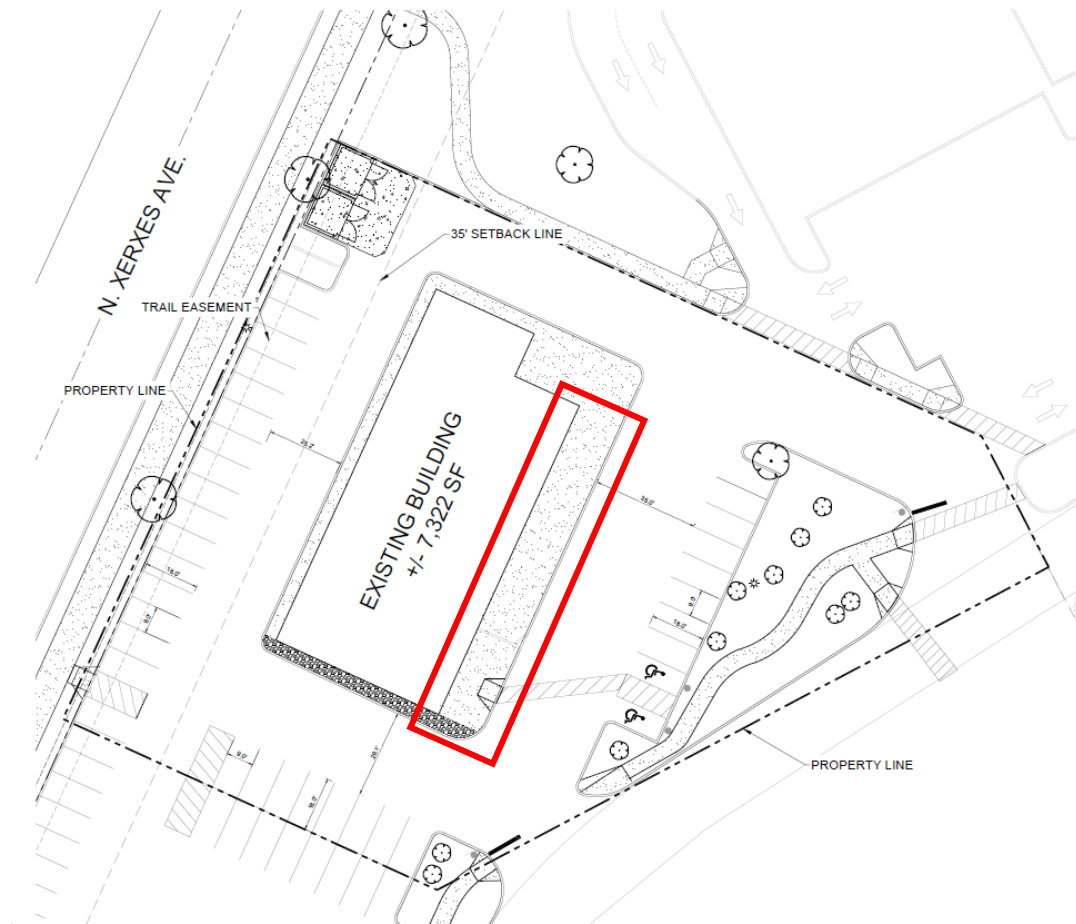
There are no plans to modify or remove any of the access points. The north side of the Subject Property provides for two-way circulation around the site, as well as access to trash enclosure and fire access. The Subject Property is accessed internally via the 56<sup>th</sup> Avenue North entrance located off Xerxes Avenue North and on the west end of the shopping center property. Additional access to the site is available off County Road 10 (Bass Lake Road) by utilizing the private road network within the shopping center. The south end of the site is not curbed, which allows for cross-flow between the former Applebee's at 1400 Shingle Creek Parkway, which is currently under renovation for use as a Dos Hermanos Mexican Grill & Bar. The northeast corner of the Subject Property also contains cross access with neighboring Building Site B, which includes a Jimmy John's with drive-thru.

As noted previously, the Subject Property currently sits on a 1.02-acre parcel and was approved with 36 on-site parking stalls (4.92 stalls of parking per 1,000 square feet). The original 2011 approvals of the shopping center stipulated that a minimum of 4.5 stalls of parking be provided for every 1,000-square feet of building or buildings be provided for retail uses. Assuming the conversion of the former Discount Tires and bay areas to retail space with some ancillary storage space, a minimum of 33 parking spaces would be required. It appears there are currently 35 parking spaces on-site today, which satisfies the minimum parking necessary for the expanded retail use.

As proposed, the three (3) existing bay doors would be removed and the walls modified on the building's east elevation. Given the bay doors, no curbing is currently in existence. As proposed, this elevation would be revised with curbing. Once installed, the above site plan indicates a 35-foot drive aisle, which is well beyond the minimum 24-foot wide drive aisle requirement to allow for two-way traffic.

Given the former use of the Subject Property, City staff did notice some oddities surrounding existing pedestrian crossings and navigation towards the entrance. City staff requests that the Applicant review opportunities to re-stripe crossings at existing sidewalk connections and in orienting customers towards the entrance from their respective parking spaces. Similarly, the provided site plan below does not provide

sufficient detailing regarding any proposed curbing or sidewalks.



**Image 4.** Site Plan for Subject Property with Curbing Revision (in red).

## LANDSCAPING

There is an approved landscape plan on file from the 2013 approval of Discount Tire, which at the time noted the installation of 12 new shade and ornamental trees, consisting of seven (7) honey locusts, two (2) river birch, two (2) crabapple, and one (1) quacking aspen. These trees were to be planted primarily along the eastern edge of the Subject Property in the designated island surrounded by two driveway access points. The plans presented under Planning Commission Application No. 2013-017 further noted a row of “existing shrubs,” later noted as perennials and spirea, that were planted along the westerly lot line and fronting Xerxes Avenue North, which were initially planted as part of streetscape improvements made along Xerxes Avenue North and Bass Lake Road (County Road 10) in the years preceding the 2013 proposal.

Although no revised landscape plan was submitted, the provided site plan notes that the landscaping is consistent with the Shingle Creek Crossing PUD exhibits. As part of any approval, City staff requests that an updated inventory be provided noting all existing landscaping (i.e. trees, shrubs) and their condition. The provided site plan identifies certain plantings; however, their type and species are not identified. Should any plantings be missing from the approved landscape plans, the Applicant shall submit proposed replacements for review and approval by City staff.

The staff report provided for Planning Commission Application No. 2013-017 notes that the trash enclosure, given its location at a lower elevation than the adjacent trail, was not very well screened for its location at the northwest corner of the site. It was noted at the time that evergreen trees and shrubs should be installed along the back side of the enclosure to, “soften the views from the adjacent street and trails.” Although it appears plantings were installed, they do not appear to have grown enough to provide any kind of screening, as the tops of the dumpsters appear to be visible from the trail and street right-of-way (Xerxes Avenue North). The Applicant should assess the condition of the existing shrubs and identify options to perhaps replace the plantings with a more suitable, natural screening.

As the Applicant intends to close off the former garage bay doors and install curbing, City staff requests an updated plan that considers installation of foundational plantings to break up the revised wall on the eastern elevation of the building and with respect to the 2011 Shingle Creek Crossing Architectural Guidelines. Similarly, the Applicant may look at alternative options to rock along the south elevation and entrance areas. Consideration should be given in emphasizing native and resilient plant types, where possible as outlined within Section 35-5602 (*Landscaping Requirements Generally*).

**LIGHTING & TRASH**

The Applicant did not submit any photometric plans and has no plans to make alterations to the existing exterior lighting. Per Planning Commission Application No. 2013-017, two (2) 39-foot poles and one (1) 28-foot pole were approved for the Subject Property and were to provide downcast lighting with cut off luminaires—this lighting shall be maintained. Six (6) low profile LED wall pack lights were affixed over the automotive bay door areas and above doorway entries to the building. Although wall pack lighting is *not permitted* per City Code except for loading and service areas, this lighting may remain assuming it is operational. Given the proposed new use of the building, City staff would not be opposed to upgrading the lighting, and particularly given the proposed modifications to the east elevation.

The existing trash enclosure appears to be in good condition and no plans for modification were presented. With the exception of addressing the plantings located on the backside of the enclosure (as noted in the *Landscaping* section above), City staff has no comments other than to ensure the enclosure remains in good condition.

**ARCHITECTURAL MATERIALS**

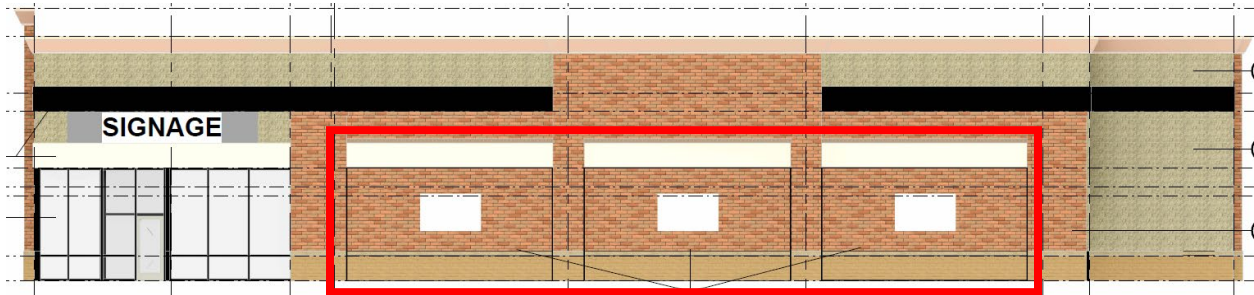
The Shingle Creek Crossing Planned Unit Development (PUD) has an approved “Architectural Design Guidelines” plan that regulate building materials on buildings located within the shopping center. The key elements of this plan are that all new buildings would need to provide four-sided architecture in their designs, meaning all four elevations must provide a nice, consistent use of material on all four sides of the buildings, including rear elevations. Buildings, and Building Site A (Subject Property) specifically, are required to incorporate at least 50% or more of Class 1 and remaining Class 2 materials as part of their elevations. With the demolition of the bays, new materials and calculations or percentages have been reconfigured.

Elevation	Class 1 Percentage	Class 2 Percentage	Notes
North	58 %	42%	No Changes
South	83%	14%	No Changes
East	<b>71%</b>	27%	Bay Doors Removed
West	65%	33%	No Changes

Table 1. Updated Building Materials Calculations for Subject Property.



The original 2013 approvals denoted the north (53%), south (83%), and west (64%) elevations as meeting the Class I minimums and the east elevation, which features the bay doors, as providing 53% of Class I materials. This assumed a use of brick, glass, and stucco as Class I materials. As proposed, there are no plans to modify the north, south, or west elevations. The only revisions would occur on the east elevation through removal and replacement of the bay doors with a new wall section comprised of brick and stucco (Class I) with remaining areas replaced using integral color CMU (Class II).



<b>CLASS 1</b>	
<b>EXISTING EAST ELEVATION:</b>	
TOTAL AREA:	3329.14 SF
BRICK:	680.45 SF
GLASS:	327.99 SF
STUCCO:	751.80 SF
AREA OF CLASS 1:	1760.24 SF
CLASS 1 PERCENTAGE:	53%

<b>CLASS 1</b>	
<b>NEW EAST ELEVATION:</b>	
TOTAL AREA:	3329.14 SF
BRICK:	504.28 SF
STUCCO:	78.00 SF
AREA OF OTHER:	582.28 SF
OTHER PERCENTAGE:	18%

<b>CLASS 2</b>	
<b>EXISTING EAST ELEVATION:</b>	
TOTAL AREA:	3329.14 SF
SPLIT-FACE CMU:	366.00 SF
INTEGRAL COLOR CMU:	336.64 SF
AREA OF CLASS 2:	702.64 SF
CLASS 2 PERCENTAGE:	21%

<b>CLASS 2</b>	
<b>NEW EAST ELEVATION:</b>	
TOTAL AREA:	3329.14 SF
INTEGRAL COLOR CMU:	208.74 SF
AREA OF OTHER:	208.74 SF
OTHER PERCENTAGE:	6%

**Image 5.** Proposed Building Modification to East Elevation of Building Exterior (area of change in red).

**Building Official Review**

Building Official Dan Grinsteinner conducted a cursory review on March 4, 2024 for the proposed reuse of the former Discount Tires located at 1450 Shingle Creek Crossing and for the intended reuse of the building as a beauty and cosmetics retail store. Given the re-classification of the building, it is anticipated the building will require issuance of a fire sprinkler permit and potential modifications to sprinkler heads. It was noted that the existing mezzanine’s open grates remain open for fire protection and, if covered, fire protection will be required under the mezzanine area per NFPA 13. The flammable interceptors noted on the original plans and given the former automotive use will require that they be properly abandoned and all floor drains, trench drains, and floor sink capped as specified in the provided memo.

Additionally, the building’s automotive bay area was categorized as an existing S1 occupancy and as such, the space was *not* conditioned. The reuse of this area for retail will require certain alterations to comply with MN ASHRAE (American Society of Heating, Refrigerating and Air-Conditioning Engineers)—**refer to Exhibit D.**

### **Assistant City Engineer’s Review**

Assistant City Engineer James Soltis reviewed the preliminary plans as submitted in a memorandum dated February 27, 2024. No site work or land disturbance is anticipated; however City Code requires ground disturbance of greater than 10,000-square feet to have an approved erosion control plan in place and issuance of a City land disturbance permit. Any disturbance greater than 0.5 acres would require the incorporation of permanent water quality best management practices (BMPs) to meet Shingle Creek Watershed Commission standards.

The Applicant is also responsible coordinating any anticipated private utility work—**refer to Exhibit E.**

### **Signage**

No specific proposals were made as part of the Planning Commission Application submittal for signage, and no requests or provisions were made as part of the Discount Tire approvals under Planning Commission Application No. 2013-017. As such, any proposed signage, including directional signage, will need to comply with the adopted Shingle Creek Crossing Signage Guidelines for a pad tenants. In cases where the guidelines do not clearly address certain signage types or requirements, said signage shall remain subject to the City’s signage provisions.

### **ANTICIPATED PERMITTING AND CONDITIONS**

Following a review of the submittal materials and the request, City staff recommends the following conditions be attached to any positive recommendation on the approval of Planning Commission Application No. 2024-002 for the Subject Property located at 1450 Shingle Creek Parkway and approval of certain site and building plan (major) and PUD amendments that would convert the former Discount Tire to an approximately 7,322-square foot Icon Beauty retail store:

1. Any major changes or modifications made to the approved site and building plan, and as outlined within the City Code, can only be made by an amendment, as approved by the City Council. The Applicant and Property Owner shall:
  - i. Provide a detail sheet for any proposed new curbing and private sidewalk areas.
  - ii. Revise internal pedestrian crossings to provide clearer connections to the building’s entrance, where needed.
  - iii. Submit a revised site plan or landscape plan with inventory in accordance with the approved 2013 landscape plan and review options for introducing foundational plantings along the east and south elevations of the building. Any missing plantings shall be reviewed for replacements in coordination with City staff.
  - iv. Review the existing landscaping located along the west side of the existing trash enclosure to determine the condition of plantings and possible landscaping alternatives to screen the enclosure.
  - v. Irrigation systems shall be maintained regularly where necessary to facilitate the maintenance of existing and any proposed site landscaping and green areas.
2. Unless amended otherwise or under separate agreement, all existing provisions, standards, and variations provided for under the 2011 Shingle Creek Crossing Development and any subsequent amendments shall remain in effect for the entire Shingle Creek Crossing Planned Unit Development.
3. Building plans are subject to review and approval by the Building Official with respect to applicable codes prior to the issuance of permits, and with respect to the cursory review comments provided in the Building Official’s memorandum dated March 4, 2024.

4. The Applicant and Property Owner shall comply with all conditions and provisions as noted in the Assistant City Engineer’s memorandum, dated February 27, 2024.
5. Any outside trash disposal facilities and rooftop or ground mechanical equipment shall be appropriately screened from view per Shingle Creek Crossing Architectural Guidelines and City Code requirements.
6. Signage is subject to the provisions outlined within the Shingle Creek Crossing Signage Guidelines and City signage requirements.
  - i. Any proposed signage shall require approval and issuance of a permit in advance of installation.

**RECOMMENDATION**

*Based on the above noted findings, City staff recommends the Planning Commission recommend City Council approval of the requested site and building plan (major) and Planned Unit Development (PUD) amendments to allow for conversion of the former Discount Tire, located at 1450 Shingle Creek Crossing and identified within the Shingle Creek Crossing Master PUD plans and documents as Building Site A, to an approximately 7,322-square foot Icon Beauty retail store, subject to the Applicant complying with the outlined conditions of approval.*

**ATTACHMENTS**

**Exhibit A** – Planning Commission Application No. 2024-002 Plans and Documents, submitted February 13, 2024.

**Exhibit B** – Public Hearing Notice, submitted for publication in the Brooklyn Center *Sun Post*, and dated February 29, 2024.

**Exhibit C** – Email of Project Support, provided by Matt Durand, and dated March 11, 2024.

**Exhibit D** – Review Memorandum, prepared by Building Official Dan Grinsteinner, and last revised March 4, 2024.

**Exhibit E** – Review Memorandum, prepared by Assistant City Engineer James Soltis, and last revised February 27, 2024.

*“Your well-built project begins and endures on Firm Ground.”*

February 13, 2024

### Icon Beauty Supply – Project Narrative

The project is a renovation of the building at 1450 Shingle Creek Parkway, within the Shingle Creek Crossing PUD, for Icon Beauty Supply, a retail store selling beauty and cosmetic items. Their current retail location is located just to the north in a retail store at 1090 Shingle Creek Parkway, Suite 110, Brooklyn Center.

Icon Beauty has purchased the new property to create a larger retail store as they have outgrown their current location. The Applicant, Brian Yi, the owner of Icon Beauty, wants his business to remain in Brooklyn Center to maintain its local clientele and to be able to provide a greater variety of items for sale, and to be able to stock more of each item, and be able to present their merchandise in an more appealing and spacious environment.

The existing building was formerly a Discount Tire location, and has a footprint of 7,000 square feet, plus some support spaces on a mezzanine level for a total building area of 7,374 square feet. The existing space had a waiting area and point of sales counter on the south side of the building, with the rest of the space being a garage space with vehicle lifts, storage racks, and support spaces for utilities and storage.

The proposed renovation of the space would consist of the following main modifications:

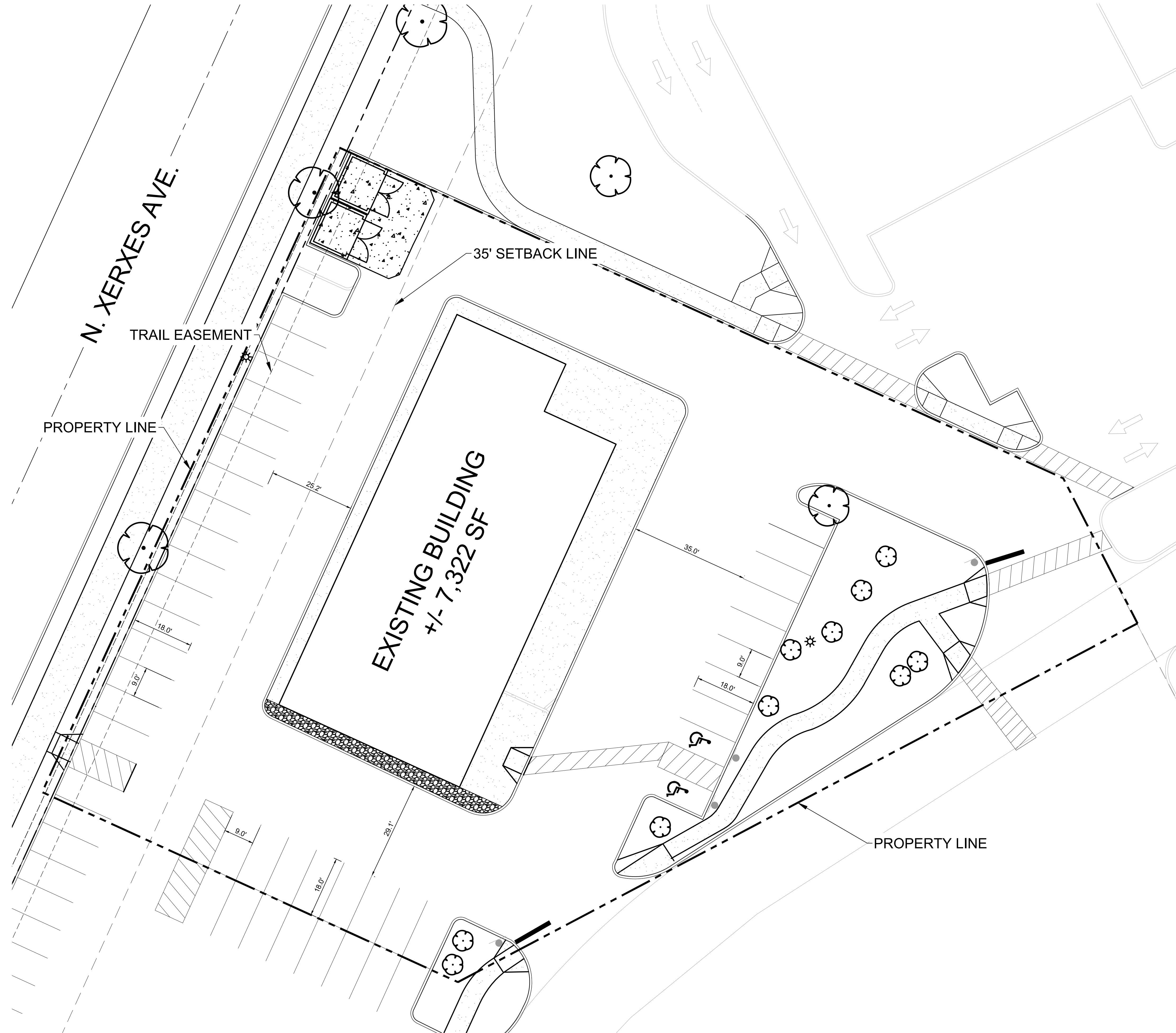
- Removal of the three large garage doors on the east side of the building and infilling those openings with a wall assembly that is in keeping with the existing exterior materials palette.
- The refinishing of the existing aluminum storefront framing to be black instead of red.
- New exterior signage on the main (east) and street-facing (west) sides of the building.
- Opening up or deleting entirely the existing wall that subdivides the existing waiting and point of sale areas to the rest of the building.
- Removal of existing vehicle lifts, equipment, and storage racking. Potential re-use of existing metal stairways to access the mezzanine levels on the west and east sides of the building for storage and back-of-house functions.
- New room at the east corner of the building to create a secured receiving area, making use of an existing eastward-facing overhead door.
- Reconfiguring the space for a retail layout, with shelving, point-of-sale counters, and display cabinets. New interior finishes throughout the space.
- Mechanical and electrical systems will be modified to suit the new function of the space. The existing fire sprinkler system will be adjusted as needed for the new layout.

The occupancy of the building would be M – Mercantile, with accessory occupancies for product storage, office and staff spaces, and mechanical room.

The building’s prior occupancies were M for its waiting / point of sale area and S for its vehicle maintenance space.

K:\TWC\_LDE\GAT\IN DEVELOPMENT\BROOKDALE CENTER\CADD\PHASE 3\Discount Tire\08172023 Discount Tire\Existing Site Plan\_Discount Tire.dwg August 17, 2023 - 1:17pm

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- DRAINAGE AND UTILITY EASEMENT

BUILDING DATA	
TOTAL BUILDING AREA	7,373 SF

PARKING SUMMARY	
TOTAL PARKING	35 SPACES
TOTAL ACCESSIBLE PARKING	2 STANDARD SPACES
REQUIRED PARKING (4.5/1,000)	33 SPACES

**\*\*EXISTING SITE PLAN, PARKING, LANDSCAPING, UTILITIES, AND LIGHTING ARE CONSISTENT WITH SHINGLE CREEK CROSSING PUD EXHIBITS\*\***

**\*\*NO LAND DISTURBANCE IS EXPECTED AS PART OF THE PROPOSED PROJECT\*\***

**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE IN FEET  
0 7.5 15 30

NORTH

PRELIMINARY - NOT FOR CONSTRUCTION

DISCOUNT TIRE  
EXISTING SITE  
PREPARED FOR  
FIRM GROUND  
ARCHITECTS  
BROOKLYN CENTER MN

EXISTING SITE  
PLAN

KHA PROJECT	16 0300008
DATE	08/17/2023
SCALE	AS SHOWN
DESIGNED BY	KJA
DRAWN BY	KJA
CHECKED BY	BMW

THESE REPORTS AND THIS PLAN ARE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDEMAN  
MN LIC. NO. 53113

**Kimley»Horn**  
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PHONE: 651-945-4187  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

SHEET NUMBER  
**C400**

# Icon Beauty Supply Store

1450 Shingle Creek Crossing  
Brooklyn Center, MN  
55430



275 Market Street, Ste. 368  
Minneapolis, MN 55405

612.819.1835 www.firmgroundae.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Philip J. Briggs  
MM/DD/YYYY 44387  
Date Signed License No.

PARTNERS/CONSULTANTS

## PROJECT IMAGE



## GENERAL CONSTRUCTION NOTES

- These documents are intended to communicate design standards for renovations to meet the needs of the client. With permitting use of these documents may be used as design documents for permit and/or construction purposes.
- General contractor (GC) shall be responsible for all qualified personnel and subcontractors, and all construction work required for the demolition, construction, and refurbishment in accordance with this set of improvements.
- Final cleaning will be required by the GC prior to substantial completion. GC shall include in this proposal the cost to complete the final cleaning. The final cleaning shall include, but not limited to, vacuuming carpets, wiping down millwork and door openings, cleaning window interiors, etc., as required for a complete final cleaning of the space.
- GC shall obtain and pay for all costs associated with securing and expediting the building permit that is necessary for the completion of the work. Bonds, permits, licenses etc., required for conducting business, shall be provided by and paid for by the GC.
- GC shall be responsible for advising the client, and it's consultants, of all laws, ordinances, rules, regulations, orders, state, and local building codes or requirements of authorities having jurisdiction over the project. If GC performs work under the contract knowing it to be contrary to the requirements of the authorities having jurisdiction over the work, and without advising the client nor their consultants of such requirements, GC shall assume full responsibility of such work and associated costs for appropriate modifications which may be required by authorities having jurisdiction over work.
- GC shall clean up all waste materials, rubbish and debris resulting from its operations at such frequencies as required to maintain a clean and safe working job-site. GC shall coordinate the preferred route and/or procedures for the removal of construction debris with the tenant and shall coordinate all necessary additional cleanup as part of construction operations such that the building common areas are maintained free from accumulations of waste material, rubbish and debris.
- GC shall be responsible for the structural integrity of the building during, and related to its construction operations. All structural modifications must be reviewed and approved through the owner.
- Costs and/or scheduled changes to the lump sum price consists of additions, deletions, or modifications shall be authorized by written scope change signed by client. GC shall provide detailed back up and pricing so that the costs and/or scheduled claim for the revisions can be properly evaluated.
- General Contractor shall provide a minimum 4'x4' jobsite sign as designed by Firm Ground. Sign will be larger if other logos are to be added such as contractor, bank, etc.
- General Contractor (GC) shall provide, but not limited to, the following activities as part of their proposed scope of services:

### A. Construction Services

- Review documents to building code issues and requirements under local municipal jurisdiction. Advise and comment to client of issues which may be of influence to securing the building permit.
- Submit permit documents to all required governing municipalities and follow-up to secure and expedite the building permit.
- Establish a shop drawing control system to expedite and track shop drawings, product submittals, samples, etc.
- Schedule, monitor and implement the flow of all documents and materials for the proper sequence of approvals by the Architect so as to prevent delays in the progress of the work.
- Verify proposed new wall locations and raise any concerns to Firm Ground, including any dimension busts or unforeseen obstructions. All proposed modifications to room sizes or wall locations must be approved by Firm Ground & owner prior to implementing; otherwise GC shall assume all costs for related thereafter.
- Coordinate and exercise regulatory control over all subcontractors. Coordinate and supervise the efforts of all subcontractors and material to ensure that the scope of work is on schedule and constructed in accordance with the contract documents.
- Oversee, manage, supervise and initiate all safety precautions and programs in connection with the performance of the contract in accordance with all governmental agencies having jurisdiction.
- Maintain a record-keeping system to monitor and track the progress of the work.
- Manage, observe and constantly review the adequacy of the subcontractor's supervision, personnel, materials and equipment on the jobsite.
- Chair progress meetings with client to discuss coordination efforts, procedures, progress, problems, scheduling and open issues.
- Receive, manage and review all requests for change orders and obtain written approval from client prior to commencement. Provide adequate supporting backup to justify pricing as required for review and approval. Contact and schedule all required inspections by governing municipalities.

### B. Post Construction Services

- Manage and coordinate the completion of project punchlist in accordance with the approved and accepted schedule for punchlist completion.
- Prepare documentation for Certificate of Substantial Completion and Final Completion, as well as, procure applicable governmental certificate of occupancy requirements.
- Compile in an organized manner subcontractor and materialmen close-out documents, such as warranties, warranties, operation manuals, testing reports, as-built drawings, attic supply and submit to client for review and approval.
- Close all subcontractor and materialmen subcontracts and purchase orders in an expeditious manner and resolve claims/disputes for the final contract acceptance.
- Prepare final progress payment for all subcontractors and materialmen with a sufficient trade payment breakdown to allow for verification of work completed in the field and summarization of contract values.
- The GC shall provide record drawings including three (3) sets of paper copies and one (1) set of electronic files to the Owner, in both PDF & DWG formats. These drawings shall represent the current conditions of the facility at the time the Owner takes possession and completion of the project.
- The GC shall provide the Owner three (3) sets of all operation and maintenance manuals for installed equipment and materials, as well as any applicable manufacturer warranty information.
- The GC shall provide to the owner all copies of final lien waivers including subcontractors and suppliers.

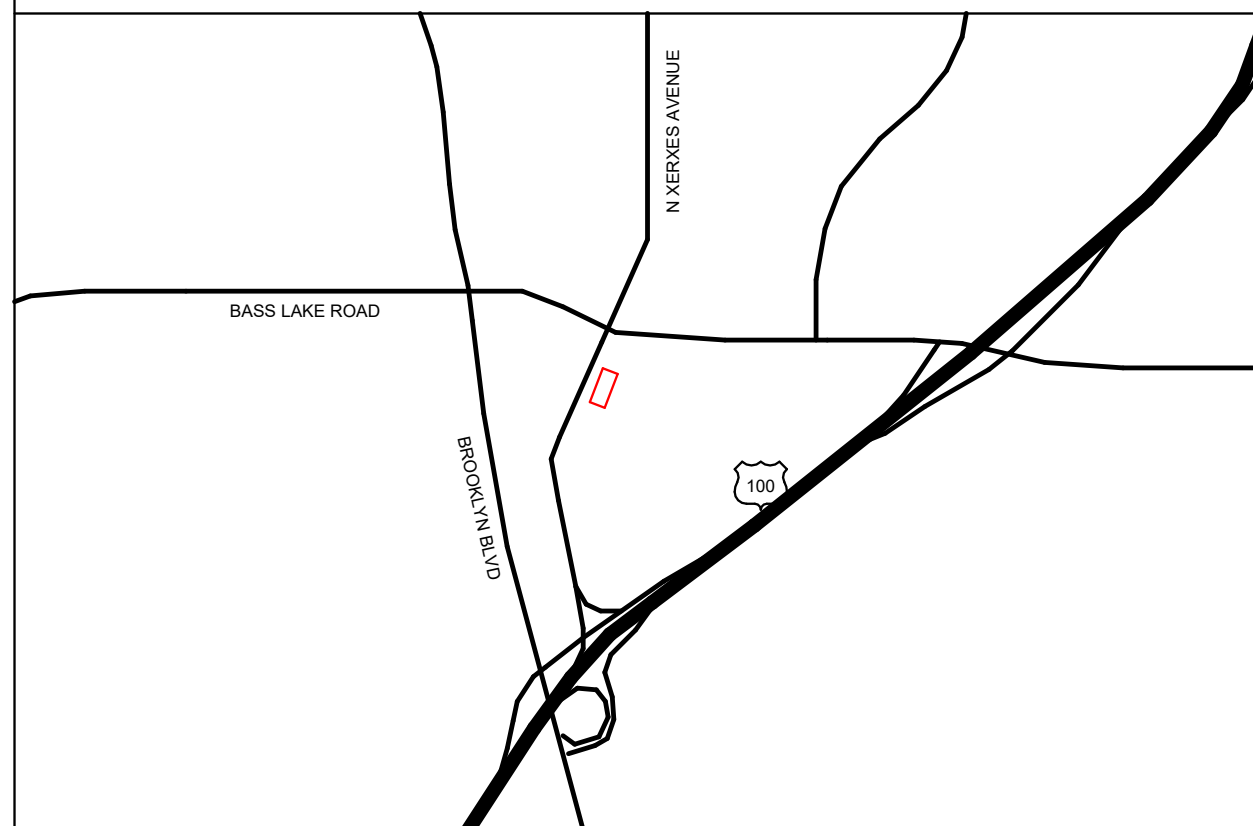
## PROJECT DIRECTORY

OWNER	ARCHITECT
Icon Beauty 12989 Bauer Drive N Champlin, MN 55316 Brian Yi 612-791-1552 bhyl1022@gmail.com	Firm Ground Architects & Engineers 275 Market Street, Suite 368 Minneapolis, MN 55405 Philip Briggs 612-819-1835 pbriggs@firmgroundae.com
GENERAL CONTRACTOR	STRUCTURAL ENGINEER
COMPANY ADDRESS LINE 1 ADDRESS LINE 2 CONTACT NAME NUMBER EMAIL	Kimley-Horn and Associates 767 Eustis Street, Suite 100 St. Paul, MN 55114 Brian Wurdeman 651-643-0444 brian.wurdeman@kimley-horn.com
CIVIL ENGINEER	LANDSCAPE ARCHITECT
COMPANY ADDRESS LINE 1 ADDRESS LINE 2 CONTACT NAME NUMBER EMAIL	COMPANY ADDRESS LINE 1 ADDRESS LINE 2 CONTACT NAME NUMBER EMAIL
CONSULTANT	CONSULTANT
COMPANY ADDRESS LINE 1 ADDRESS LINE 2 CONTACT NAME NUMBER EMAIL	COMPANY ADDRESS LINE 1 ADDRESS LINE 2 CONTACT NAME NUMBER EMAIL

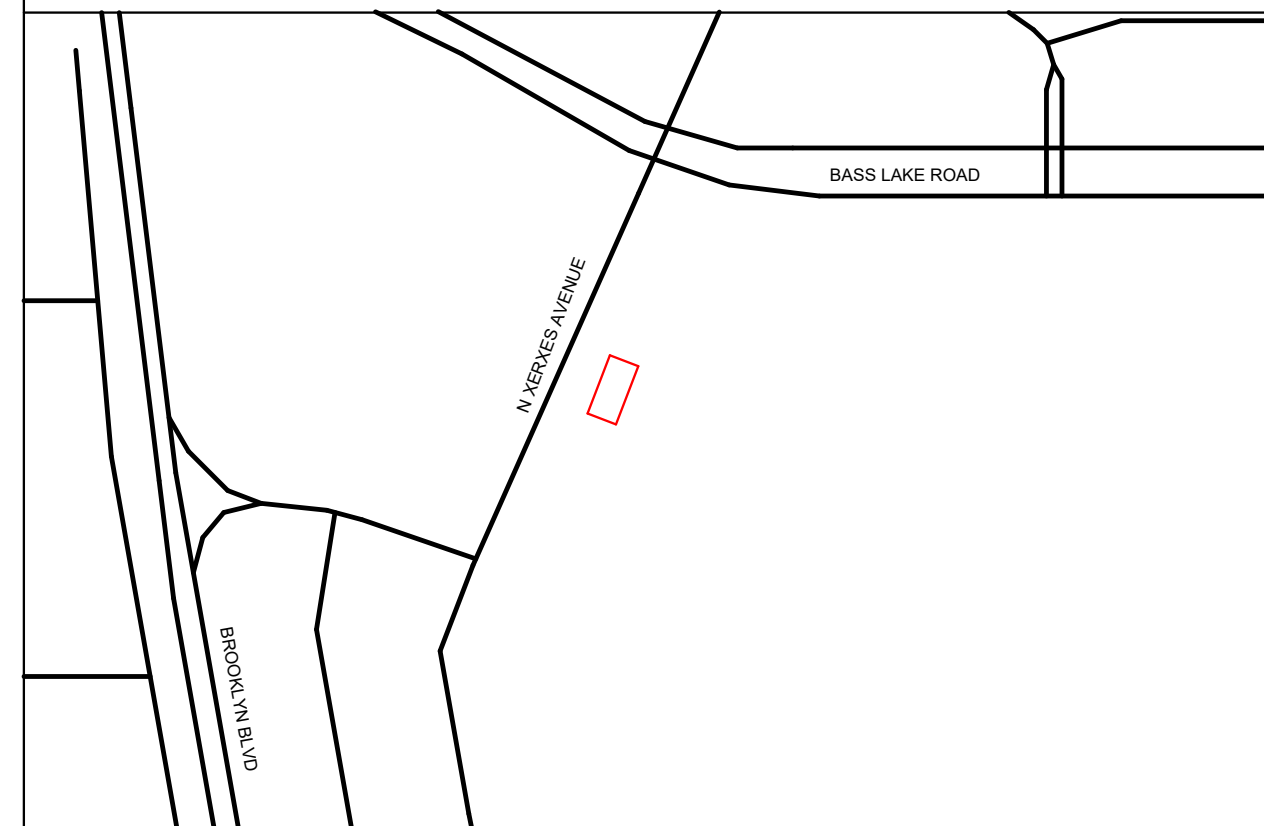
## SHEET LIST

SHEET NUMBER	SHEET TITLE
1) GENERAL	
T1	TITLE SHEET
T2	CODE ANALYSIS
2) DEMOLITION	
D101	FIRST FLOOR DEMOLITION PLAN
D102	MEZZANINE FLOOR DEMOLITION PLAN
3) ARCHITECTURE	
A101	FIRST FLOOR PLAN
A102	MEZZANINE FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS COLOR

## SITE LOCATION MAP



## SITE MAP



OWNER

Brian Yi

12989 Bauer Drive N  
Champlin, MN 55316

PROJECT

Icon Beauty Supply  
Store

1450 Shingle Creek Crossing  
Brooklyn Center, MN 55430

PROJECT NO. 23.101  
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CHECKED BY T. WASMOEN  
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SUBMITTAL  
02/13/2024

# ISSUE/REVISION DATE

SHEET TITLE  
TITLE SHEET

SHEET NUMBER

T1  
FIRM GROUND  
architects & engineers

NOT FOR  
CONSTRUCTION



275 Market Street, Ste. 368  
Minneapolis, MN 55405

612.819.1835 www.firmgroundae.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Philip J. Briggs  
MM/DD/YYYY 44387  
Date Signed License No.

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NOT FOR  
CONSTRUCTION

SHEET TITLE  
FIRST FLOOR  
DEMOLITION  
PLAN

SHEET NUMBER




D101  
FIRM GROUND  
architects & engineers

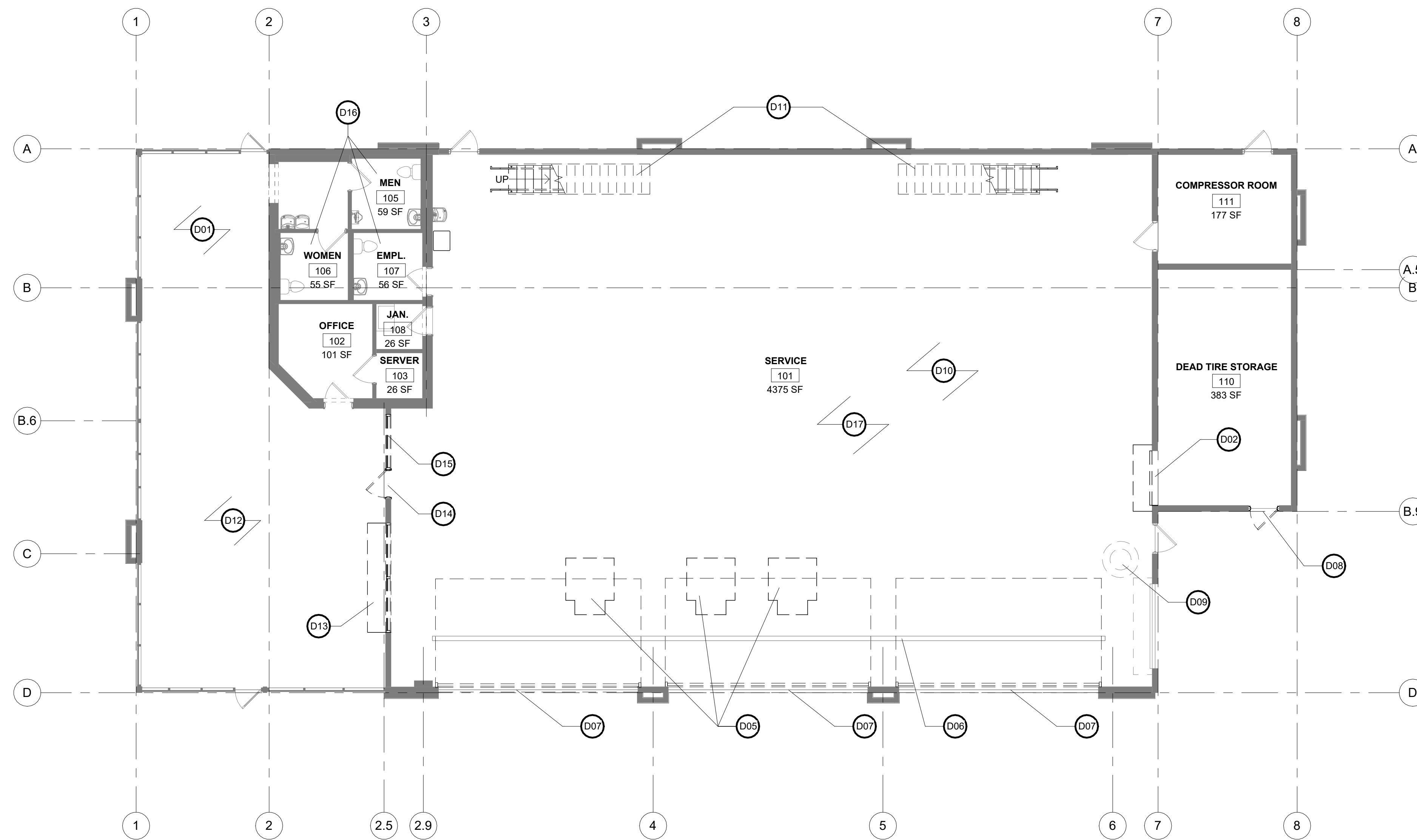
## DEMOLITION PLAN NOTES

- THIS DEMOLITION PLAN REPRESENTS AS COMPLETE A PICTURE OF DEMOLITION FOR THE PROJECT AS POSSIBLE. HOWEVER, THE DEMOLITION SCOPE INCLUDES ALL DEMOLITION REQUIRED TO PRODUCE THE DESIGN REPRESENTED BY THESE DRAWINGS. CONSULT ARCHITECT WITH QUESTIONS OR DISCREPANCIES.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH AND ALL LAWS, REGULATIONS, ORDINANCES, AND CODES RELATED TO DEMOLITION AND MATERIAL REMOVAL INACTED AND ENFORCED BY APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES WITH JURISDICTION AT THE SITE.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DESIGN AND CONSTRUCTION OF ALL SHORING COMPONENTS USED TO SAFELY SHORE THE STRUCTURAL SYSTEMS DURING DEMOLITION. ANY AND ALL SHORING IS TO BE ENGINEERED BY A LICENSED MN ENGINEER UNDER A SEPERATE CONTRACT UNLESS OTHERWISE NOTED IN THESE DOCUMENTS.
- THE DEMOLITION CONTRACTOR SHALL REPORT THE DISCOVERY OF ANY FOUND DEFECTS IN MATERIALS OR SYSTEMS TO REMAIN OR HAZARDOUS MATERIALS ENCOUNTERED TO THE OWNER AND THE ARCHITECT IN A TIMELY MANNER.
- THE G.C. SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SERVICES ON THE SITE AND TO THE BUILDING PRIOR TO BEGINNING DEMOLITION/CONSTRUCTION ON THE SITE. IF ANY OF THE ARE FOUND TO BE IN CONFLICT WITH THE PROPOSED NEW CONSTRUCTION CONTACT THE ARCHITECT IMMEDIATELY.
- THE DEMOLITION CONTRACTOR SHALL VERIFY ALL LOCATION OF NEW WALLS, DOORS, OPENINGS, ETC. WITH THE FLOOR PLAN PRIOR TO DEMOLITION.
- PATCH ALL WALLS, FLOORS, CEILINGS, ETC. TO REMAIN AS REQUIRED TO BE READY TO RECEIVE NEW FINISH MATERIALS, INCLUDING THOSE DAMAGED DURING DEMOLITION.
- REMOVE ALL EXISTING FINISHES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW FINISHES AND EQUIPMENT.

Please review demolition plan notes with your project architect and remove any not applicable to your project, then delete this note.

## DEMOLITION PLAN LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING DOOR TO BE DEMOLISHED



## DEMOLITION KEYNOTES

NOTE NUMBER	NOTE TEXT
D01	DEMOLISH AND DISPOSE OF EXISTING TILE FLOORING AND PREPARE FOR NEW FINISH
D02	DEMOLISH AND DISPOSE OF EXISTING COIL OVERHEAD DOOR
D03	EXISTING FANS TO REMAIN AND BE CLEANED
D04	REMOVE AND SALVAGE DOOR SLAB AND HARDWARE, DISPOSE OF EXISTING FRAME
D05	DEMOLISH AND DISPOSE OF EXISTING LIFTS
D06	DEMOLISH AND DISPOSE OF EXISTING DRAIN
D07	DEMOLISH AND DISPOSE OF EXISTING ENTIRE OVER HEAD DOOR ASSEMBLY
D08	DEMOLISH AND DISPOSE OF EXISTING EXTERIOR DOOR
D09	DEMOLISH AND DISPOSE OF EXISTING WASTE TRAP
D10	DEMOLISH AND DISPOSE OF ALL EXISTING LIGHTING FIXTURES IN THIS SERVICE AREA
D11	REMOVE AND SALVAGE EXISTING STAIRS FOR RE-INSTALLATION LATER IN PROJECT. REPAIR SLAB AS REQUIRED TO FLUSH CONDITIONS
D12	DEMOLISH AND DISPOSE OF EXISTING ACT SYSTEM AND LIGHT FIXTURES IN THIS AREA
D13	DEMOLISH AND DISPOSE OF EXISTING COUNTER AND WINDOW
D14	DEMOLISH AND DISPOSE OF EXISTING DOOR
D15	DEMOLISH AND DISPOSE OF EXISTING WINDOW
D16	FLOOR TILE IN RESTROOMS TO REMAIN
D17	DEMOLISH AND DISPOSE OF EXISTING OVERHEAD HEATING UNITS
D18	CREATE OPENING FOR REUSED DOOR SLAB AND NEW FRAME
D19	DEMOLISH AND DISPOSE OF ALL RACKING AND METAL GRATE CATWALKS

1 FIRST FLOOR DEMOLITION PLAN  
D101 1/8" = 1'-0"



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Minneapolis, MN 55405

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota

Philip J. Briggs  
MM/DD/YYYY 44387  
Date Signed License No.

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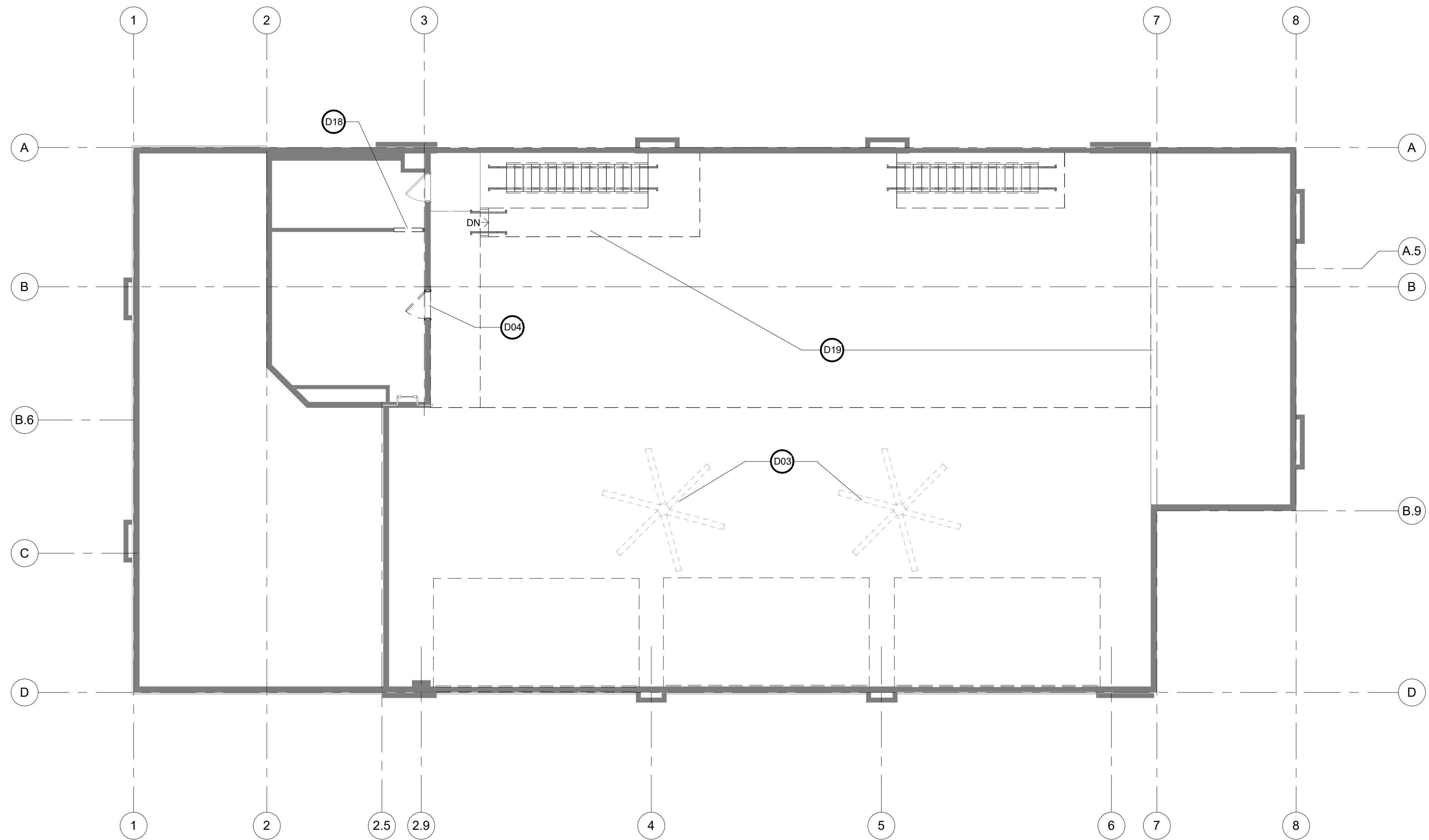
NOT FOR  
CONSTRUCTION

SHEET TITLE

MEZZANINE  
FLOOR  
DEMOLITION  
PLAN

SHEET NUMBER

D102  
FIRM GROUND  
architects & engineers

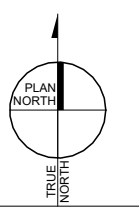


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1 MEZZANINE DEMOLITION PLAN  
D102 1/8" = 1'-0"



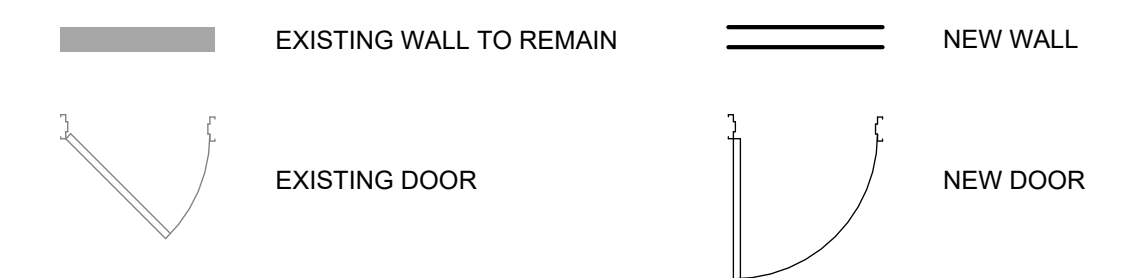


**CONSTRUCTION PLAN NOTES**

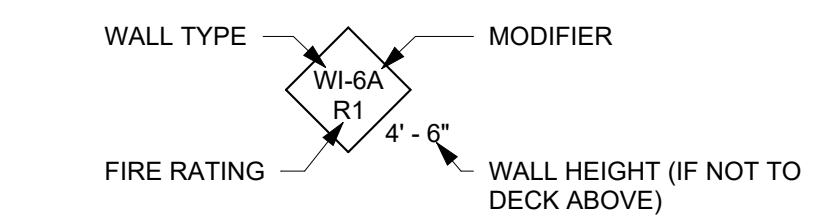
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS. NOTIFY ARCHITECT OF DISCREPANCIES AND MISSING INFORMATION AS REQUIRED.
- IN THE CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR INFORMATION (RFI) FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- NEW WALLS ARE DIMENSIONED AS FOLLOWS:  
**EXTERIOR:** TO EXTERIOR FACE OF SHEATHING  
**INTERIOR:** TO CENTERLINE OF WALL STUDS
- EXISTING EXTERIOR AND INTERIOR WALLS ARE DIMENSIONED FROM FINISHED WALL FACE. NOTE TICK MARK LOCATIONS. GRID LINES ARE ALIGNED TO WALLS AS FOLLOWS UNLESS NOTED OTHERWISE:  
**EXTERIOR:** FACE OF FOUNDATION  
**INTERIOR:** CENTERLINE OF WALL STUDS
- LOCATE DOOR ROUGH OPENINGS 3" FROM FACE OF ADJACENT WALL
- SEE LEGEND FOR SHADING CONVENTIONS FOR NEW AND EXISTING WALLS
- ALL NEW DOORS ARE SHOWN OPEN AT 90-DEGREE ANGLE.
- ALL EXISTING DOORS ARE SHOWN OPEN AT 45-DEGREE ANGLE.

Please review construction plan notes with your project architect and remove any not applicable to your project, then delete this note.

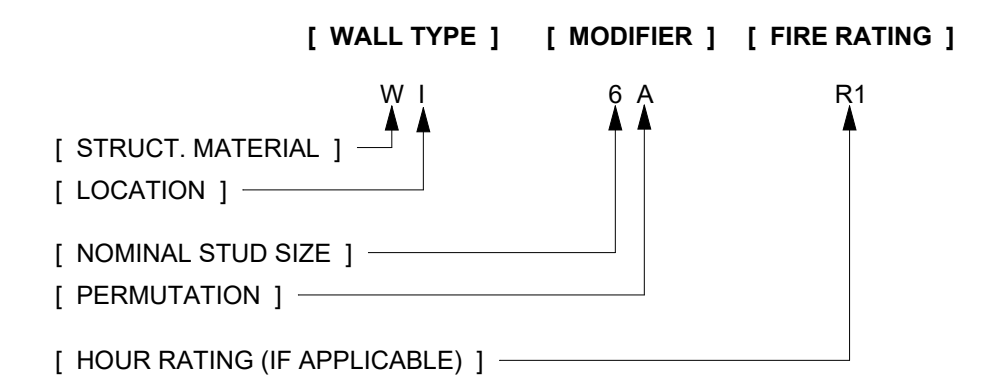
**CONSTRUCTION PLAN LEGEND**



**WALL TAG SYMBOL EXPLANATION:**



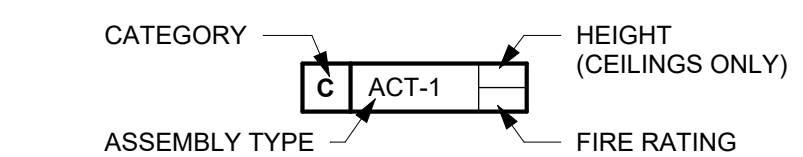
**WALL TYPE LABELING CONVENTIONS:**



**WALL TYPE ABBREVIATION KEY:**

- (W) - WOOD (E) - EXTERIOR  
 (S) - STEEL (I) - INTERIOR  
 (M) - MASONRY  
 (F) - FURRING
- permutation abbrev examples

**HORIZONTAL ASSEMBLY SYMBOL EXPLANATION:**



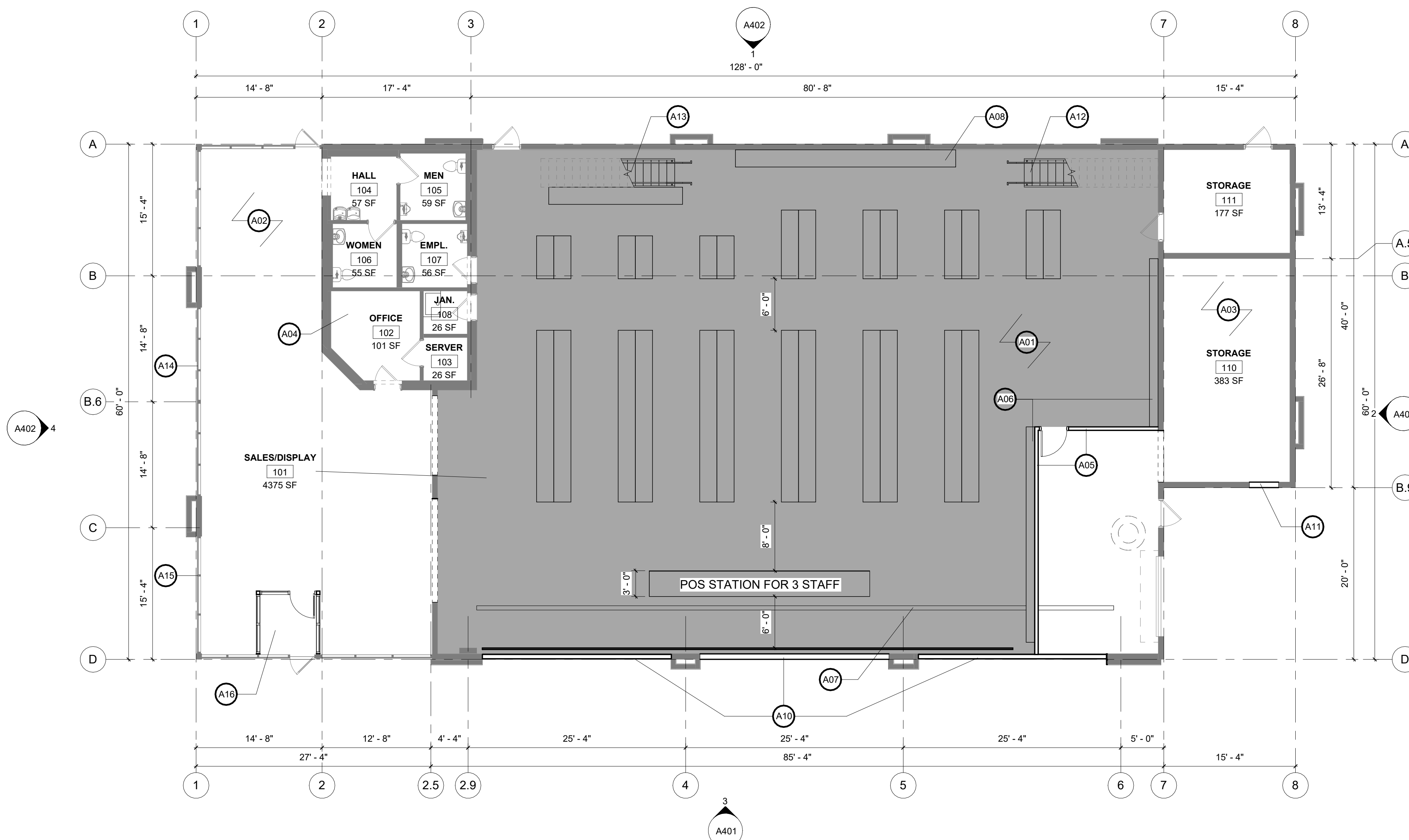
**HORIZONTAL ASSEMBLY ABBREVIATION KEY:**

- CATEGORIES: (F) - FLOOR (ACT) - ACOUSTIC CEILING TILE FLOORS: (CONC) - CONCRETE  
 (C) - CEILING (GB) - GYPSUM BOARD (WDP) - WOOD PLANK  
 (R) - ROOF (WD) - WOOD CEILING  
 (WDS) - WOOD SLAT CEILING

**FLOOR PLAN KEYNOTES**

NOTE NUMBER	NOTE TEXT
A01	PRICE DIFFERENCE BETWEEN POLISH CONCRETE AND EPOXY
A02	KEEP AS IS WITH NEW LIGHTING OR RAISE HVAC TO DECK WITH NEW LIGHTING. FINISH INSIDE FACE OF EXTERIOR WALLS AND RAISE CEILING.
A03	MODIFY HVAC SYSTEM AS REQUIRED
A04	KEEP EXISTING CASEWORK IN OFFICE. ALL FINISHES TO REMAIN. CLEAN-UP CEILING TILES AND VENTS.
A05	NEW WALL UP TO DECK
A06	WIG DISPLAY WALLS
A07	DRAIN INFILL TO BE FLUSH WITH FLOOR
A08	HIGH STORAGE RACKING
A09	STEEL METAL RAILING ALONG WALL TO BE PAINTED BLACK
A10	INFILL WALLS WHERE EXISTING DOORS WERE DEMOLISHED IS BUILT USING STEEL STUDS
A11	INFILL OPENING TO MATCH EXISTING WALL
A12	REINSTALLED SALVAGED STAIRS FOR DIRECT ACCESS TO MEZZANINE STORAGE
A13	REINSTALL STAIRS AND MODIFY AS REQUIRED TO WORK WITH SLIGHTLY ELEVATED PLATFORM
A14	PROVIDE AND INSTALL 3M SECURITY FILM - S70 ON ALL STOREFRONT WINDOWS AS AN ALTERNATE
A15	PAINT OVER EXISTING RED ALUMINUM STOREFRONT FRAME SYSTEM TO BLACK
A16	CREATE NEW VESTIBULE WITH STOREFRONT SYSTEM AND MATCH IN HEIGHT TO EXTERIOR SYSTEM
A17	INFILL OPENING WITH MATCHING MATERIALS
A18	NEW STEEL METAL RAILING
A19	INSTALL NEW FRAME AND SALVAGED DOOR SLAB AND HARDWARE

**GENERAL NOTE:**  
 PROVIDE AND INSTALL NEW LIGHTING THROUGH MAIN FLOOR. VERIFY EXISTING ROOF CONDITIONS.



16 FIRST FLOOR CONSTRUCTION PLAN  
 A101 1/8" = 1'-0"

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MM/DD/YYYY 44387  
Date Signed License No.

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PROJECT  
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PROJECT NO. 23.101  
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CHECKED BY T. WASMOEN  
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SHEET TITLE

MEZZANINE  
FLOOR PLAN

SHEET NUMBER

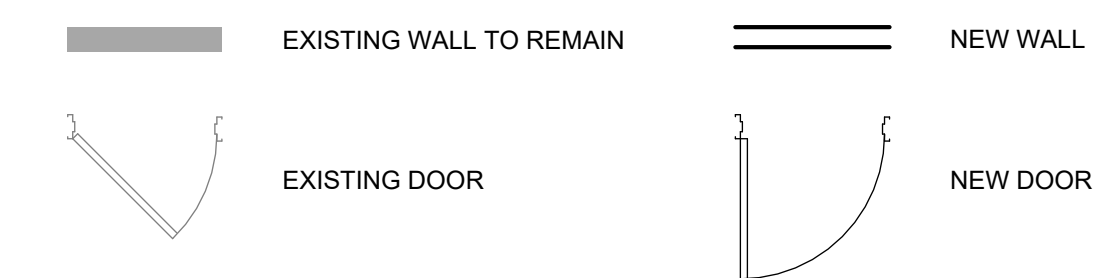
A102  
FIRM GROUND  
architects & engineers

### CONSTRUCTION PLAN NOTES

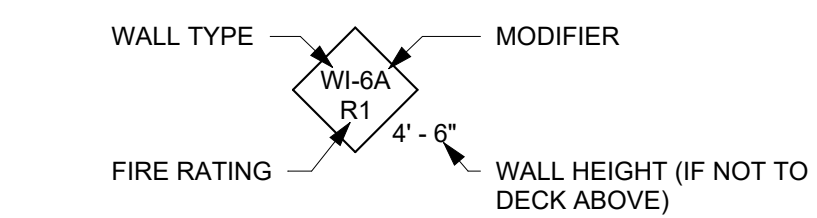
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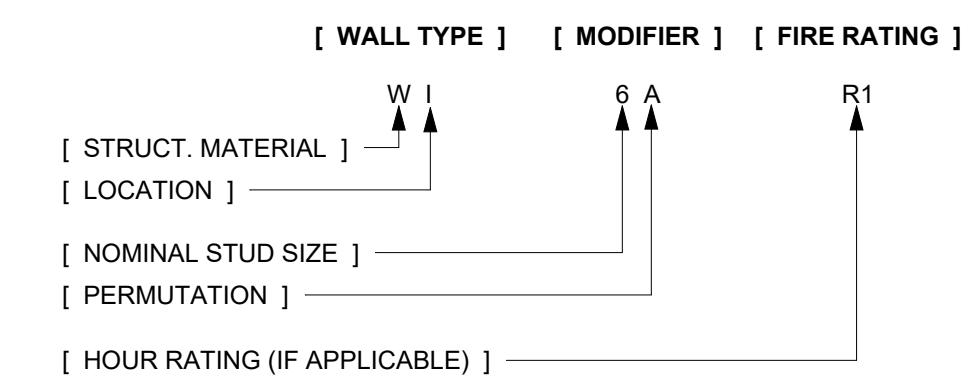
### CONSTRUCTION PLAN LEGEND



#### WALL TAG SYMBOL EXPLANATION:



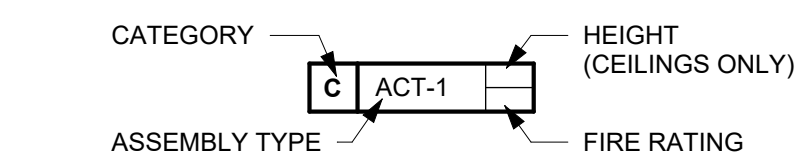
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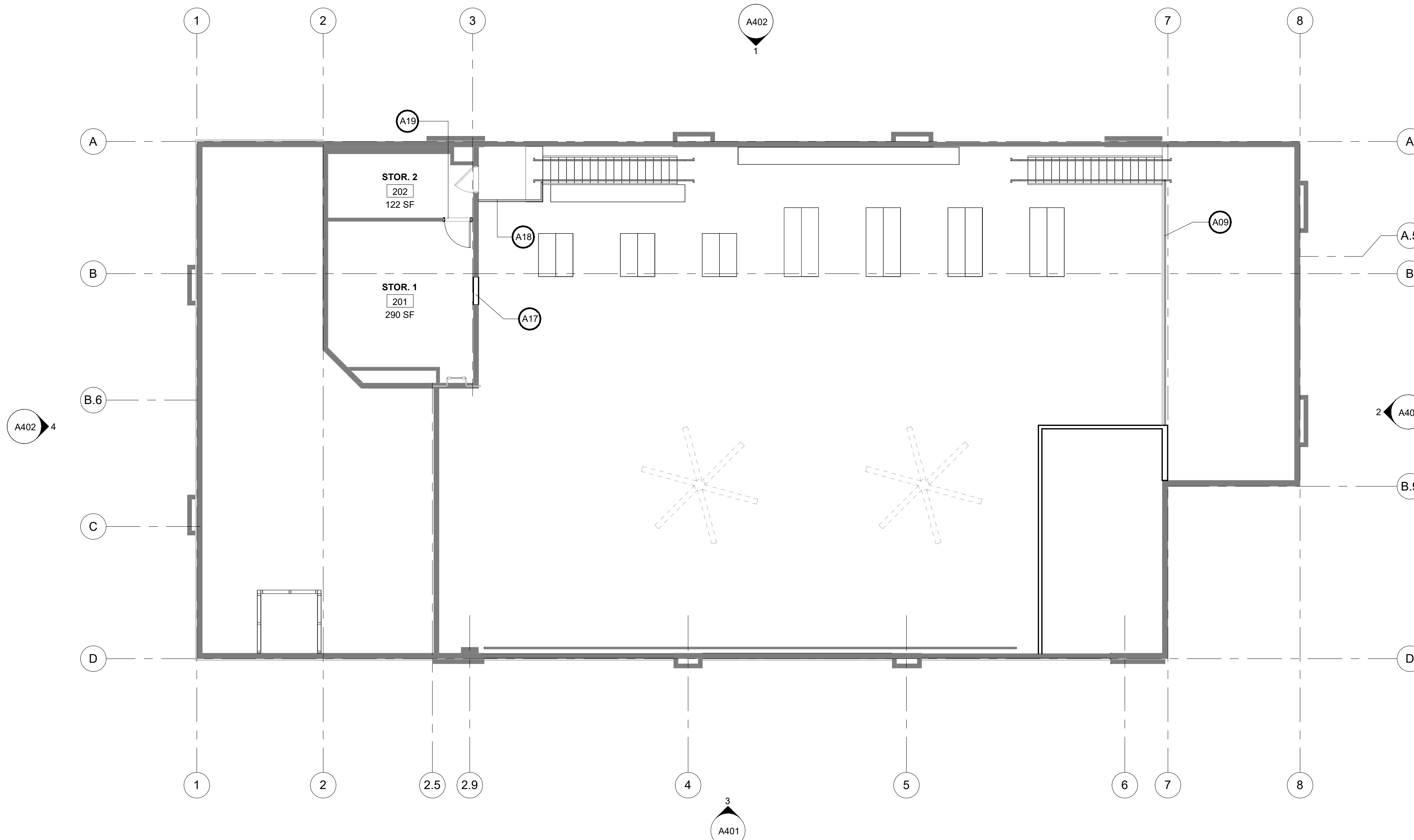
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(R) - ROOF (WD) - WOOD CEILING  
(WDS) - WOOD SLAT CEILING

### FLOOR PLAN KEYNOTES

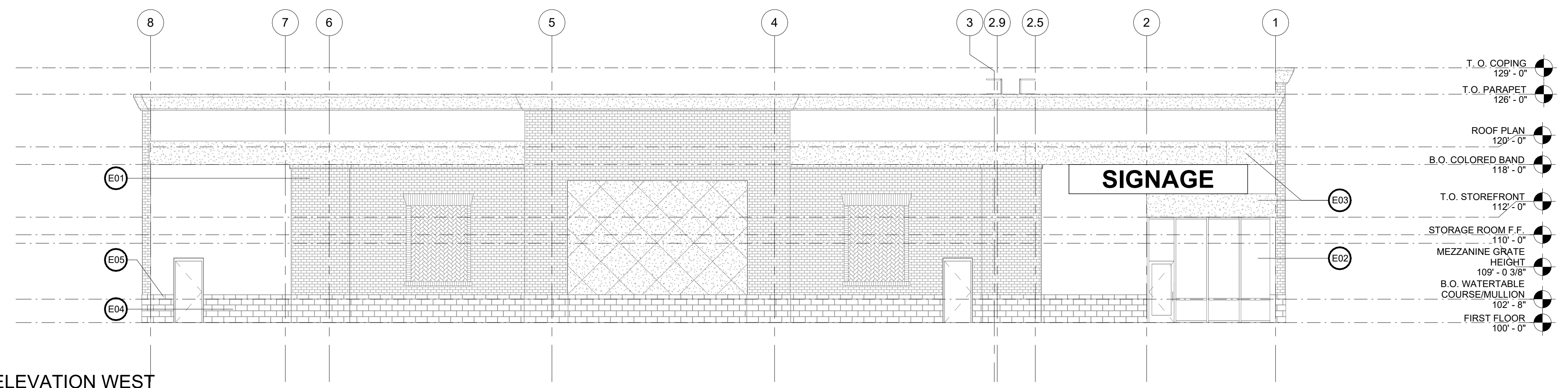
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**GENERAL NOTE:**  
PROVIDE AND INSTALL NEW LIGHTING THROUGH MAIN FLOOR. VERIFY EXISTING ROOF CONDITIONS.



1 MEZZANINE CONSTRUCTION PLAN  
A102 1/8" = 1'-0"

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**CLASS 1 EXISTING WEST ELEVATION:**

TOTAL AREA:	3331.72 SF
BRICK:	1171.61 SF
GLASS:	175.30 SF
STUCCO:	804.67 SF
AREA OF CLASS 1:	2151.58 SF
CLASS 1 PERCENTAGE:	65%

**CLASS 2 EXISTING WEST ELEVATION:**

TOTAL AREA:	3331.72 SF
PAINTED SPLIT-FACE CMU:	724.91 SF
INTEGRAL COLOR CMU:	336.85 SF
STUCCO:	1061.76 SF
AREA OF CLASS 2:	1061.76 SF
CLASS 2 PERCENTAGE:	33%

**OTHER NEW WEST ELEVATION:**

TOTAL AREA:	3331.72 SF
SIGNAGE:	67.78 SF
AREA OF CLASS 2:	67.78 SF
OTHER PERCENTAGE:	2%

**TOTALS**

EXISTING CLASS 1:	65% = 65%
NEW CLASS 1:	0% = 0%
EXISTING CLASS 2:	33% = 33%
NEW CLASS 2:	0% = 0%
NEW OTHER:	2% = 2%

**EXTERIOR KEYNOTES**

NOTE NUMBER	NOTE TEXT
E01	BRICK
E02	GLASS
E03	E.I.F.S.
E04	PAINTED SPLIT-FACE CMU
E05	INTEGRAL COLOR CMU
E06	NEW BRICK AND INTEGRAL COLOR CMU INFILL

**CLASS 1 EXISTING NORTH ELEVATION:**

TOTAL AREA:	1460.19 SF
BRICK:	443.68 SF
GLASS:	0 SF
STUCCO:	395.36 SF
AREA OF CLASS 1:	839.04 SF
CLASS 1 PERCENTAGE:	58%

**CLASS 2 EXISTING NORTH ELEVATION:**

TOTAL AREA:	1460.19 SF
PAINTED SPLIT-FACE CMU:	101.99 SF
INTEGRAL COLOR CMU:	519.06 SF
AREA OF OTHER:	605.79 SF
OTHER PERCENTAGE:	42%

**CLASS 1 EXISTING EAST ELEVATION:**

TOTAL AREA:	3329.14 SF
BRICK:	680.45 SF
GLASS:	327.99 SF
STUCCO:	751.80 SF
AREA OF CLASS 1:	1760.24 SF
CLASS 1 PERCENTAGE:	53%

**CLASS 2 EXISTING EAST ELEVATION:**

TOTAL AREA:	3329.14 SF
SPLIT-FACE CMU:	366.00 SF
INTEGRAL COLOR CMU:	336.64 SF
STUCCO:	702.64 SF
AREA OF CLASS 2:	702.64 SF
CLASS 2 PERCENTAGE:	21%

**CLASS 1 NEW EAST ELEVATION:**

TOTAL AREA:	3329.14 SF
BRICK:	504.28 SF
STUCCO:	78.00 SF
AREA OF OTHER:	582.28 SF
OTHER PERCENTAGE:	18%

**CLASS 2 NEW EAST ELEVATION:**

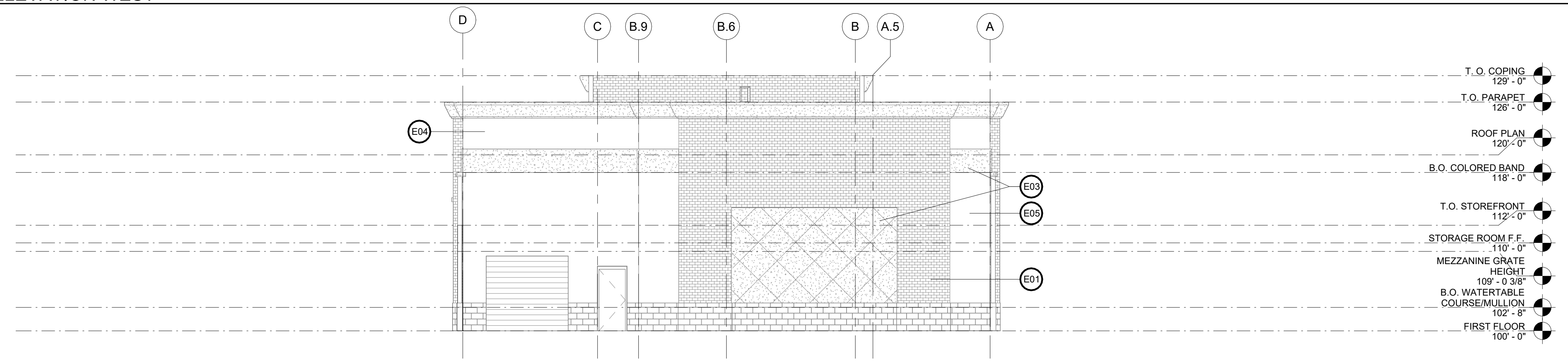
TOTAL AREA:	3329.14 SF
INTEGRAL COLOR CMU:	208.74 SF
STUCCO:	208.74 SF
AREA OF OTHER:	208.74 SF
OTHER PERCENTAGE:	6%

**OTHER NEW EAST ELEVATION:**

TOTAL AREA:	3329.14 SF
SIGNAGE:	67.78 SF
AREA OF OTHER:	67.78 SF
OTHER PERCENTAGE:	2%

**TOTALS**

EXISTING CLASS 1:	53% = 71%
NEW CLASS 1:	18% = 18%
EXISTING CLASS 2:	21% = 27%
NEW CLASS 2:	6% = 6%
NEW OTHER:	2% = 2%



T.O. COPING 125' - 0"

T.O. PARAPET 126' - 0"

ROOF PLAN 120' - 0"

B.O. COLORED BAND 118' - 0"

T.O. STOREFRONT 112' - 0"

STORAGE ROOM F.F. 110' - 0"

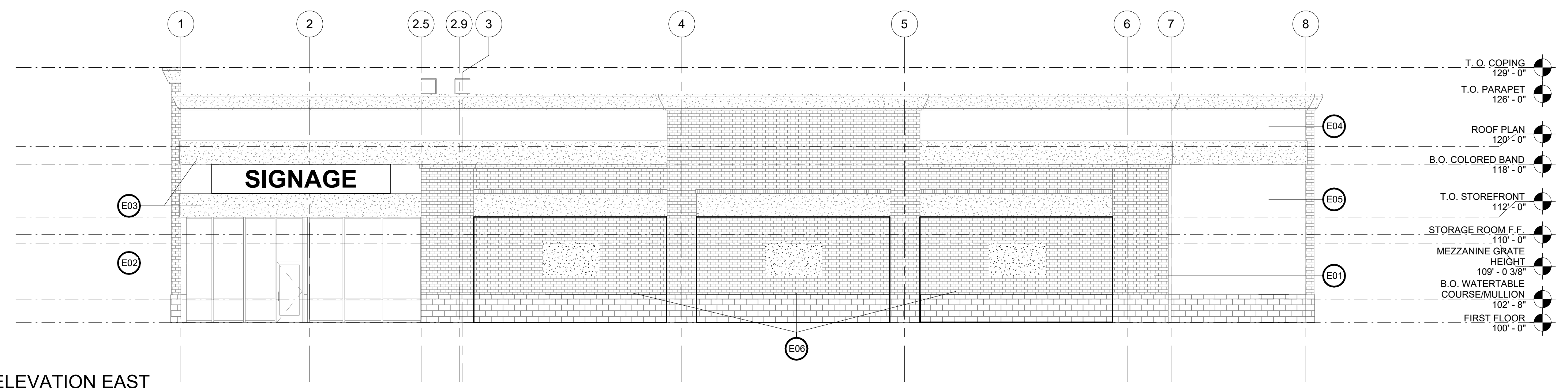
MEZZANINE GRATE HEIGHT 109' - 0 3/8"

B.O. WATERTABLE COURSE/MULLION 102' - 8"

FIRST FLOOR 100' - 0"

2 EXTERIOR ELEVATION WEST  
 A401 1/8" = 1'-0"

1 EXTERIOR ELEVATION NORTH  
 A401 1/8" = 1'-0"



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**CLASS 1 EXISTING SOUTH ELEVATION:**

TOTAL AREA:	1660.64 SF
BRICK:	415.43 SF
GLASS:	606.72 SF
STUCCO:	357.34 SF
AREA OF CLASS 1:	1379.49 SF
CLASS 1 PERCENTAGE:	83%

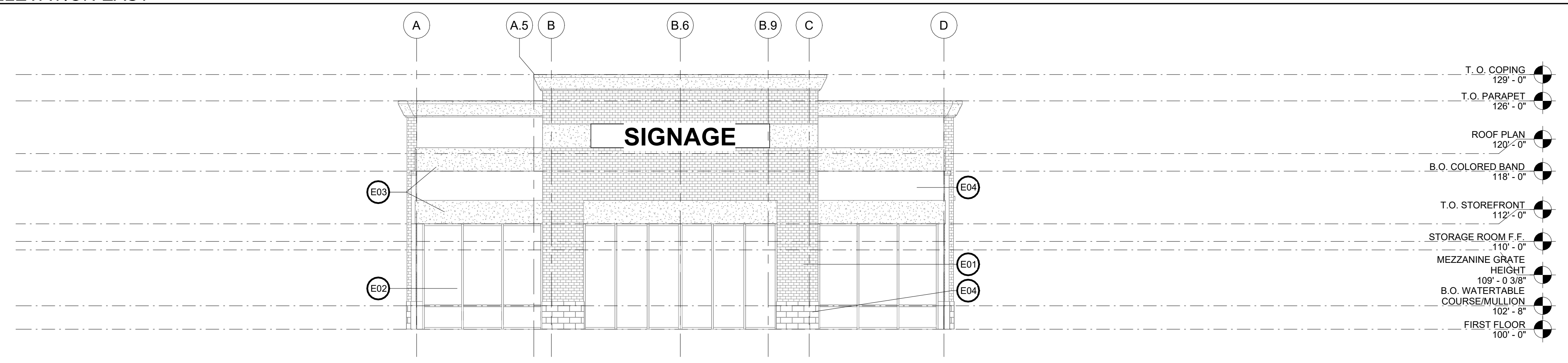
**CLASS 2 EXISTING SOUTH ELEVATION:**

TOTAL AREA:	1660.64 SF
SPLIT-FACE CMU:	195.58 SF
INTEGRAL COLOR CMU:	34.28 SF
AREA OF OTHER:	229.83 SF
OTHER PERCENTAGE:	14%

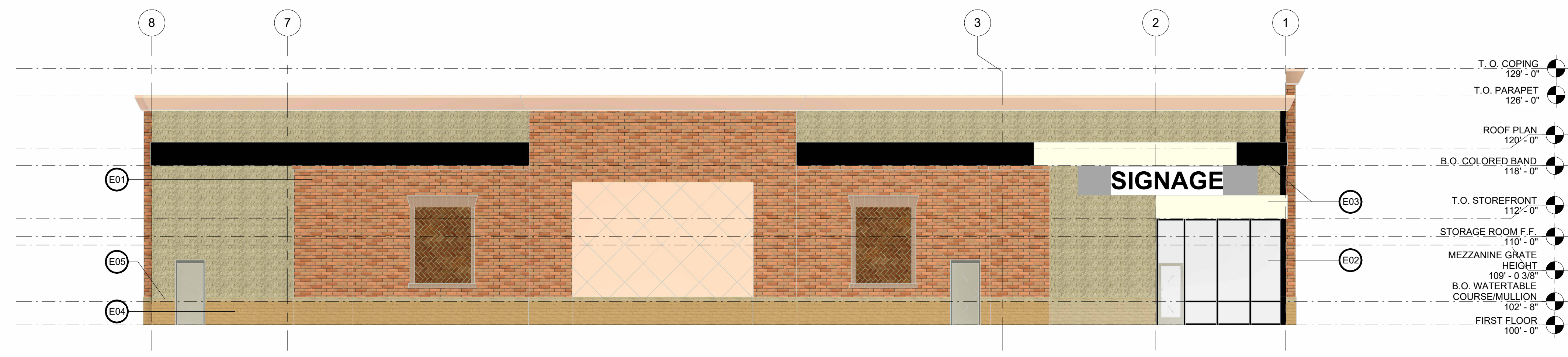
**OTHER NEW SOUTH ELEVATION:**

TOTAL AREA:	1660.64 SF
SIGNAGE:	54.86 SF
AREA OF OTHER:	54.86 SF
OTHER PERCENTAGE:	3%

3 EXTERIOR ELEVATION EAST  
 A401 1/8" = 1'-0"



4 EXTERIOR ELEVATION SOUTH  
 A401 1/8" = 1'-0"



**CLASS 1 EXISTING WEST ELEVATION:**

TOTAL AREA:	3331.72 SF
BRICK:	1171.61 SF
GLASS:	175.30 SF
STUCCO:	804.67 SF
AREA OF CLASS 1:	2151.58 SF
CLASS 1 PERCENTAGE:	65%

**CLASS 2 EXISTING WEST ELEVATION:**

TOTAL AREA:	3331.72 SF
PAINTED SPLIT-FACE CMU:	724.91 SF
INTEGRAL COLOR CMU:	336.85 SF
STUCCO:	1061.76 SF
CLASS 2 PERCENTAGE:	33%

**OTHER NEW WEST ELEVATION:**

TOTAL AREA:	3331.72 SF
SIGNAGE:	67.78 SF
AREA OF CLASS 2:	67.78 SF
OTHER PERCENTAGE:	2%

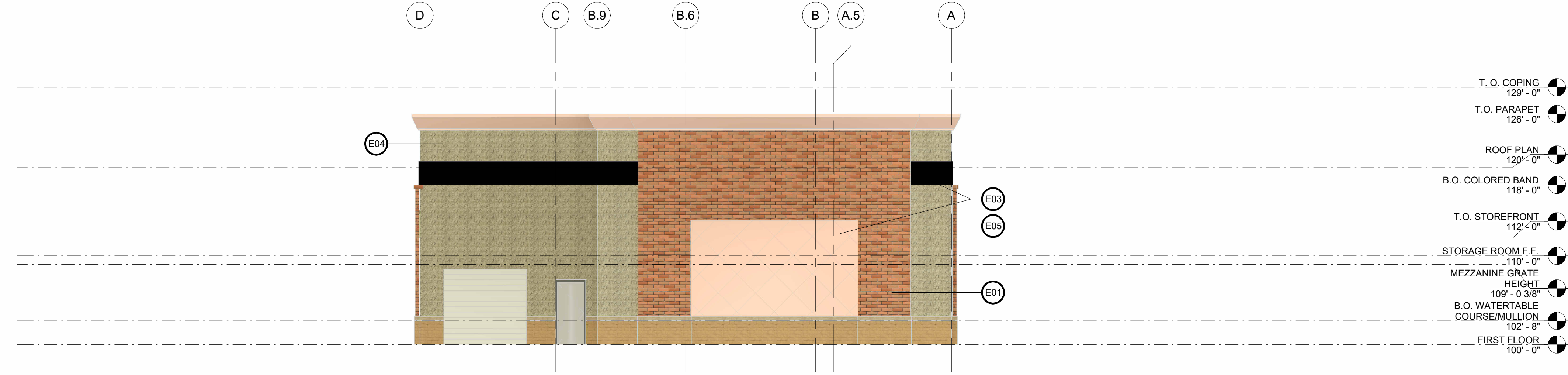
**TOTALS**

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NEW CLASS 1:	0% = 0%
EXISTING CLASS 2:	33% = 33%
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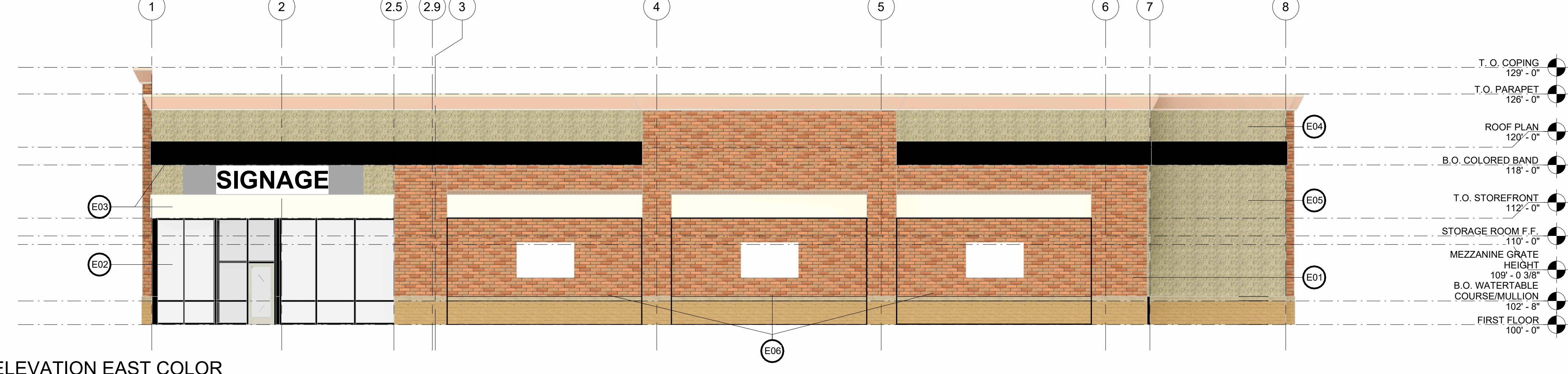
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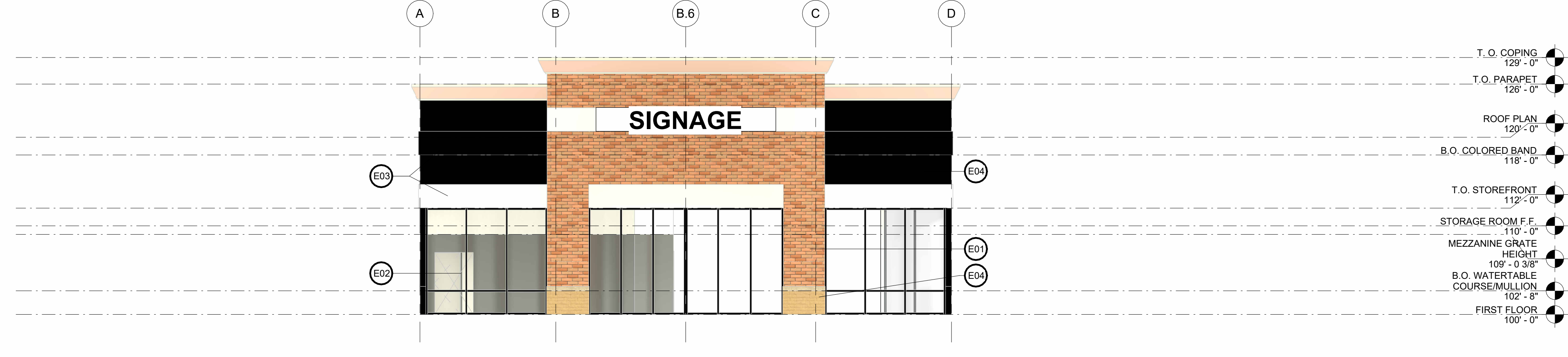
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CITY OF  
BROOKLYN CENTER  
NOTICE OF  
PUBLIC HEARING

TO WHOM IT MAY CONCERN:

Please take notice that the Planning Commission of the City of Brooklyn Center will hold an in-person public hearing on **Thursday, March 14, 2024** at approximately 7:00 p.m. Meeting materials can be accessed by visiting the City of Brooklyn Center's website at: <https://www.brooklyncentermn.gov/>. A definite time for this application to be considered cannot be given as it will depend on the progression of the agenda items.

**TYPE OF REQUESTS:** Site and Building Plan and PUD Amendments

**APPLICANT:** Icon, LLC  
**PROPERTY OWNER:** Halle Properties, LLC  
**PROPERTY ADDRESS | PID:**  
1450 Shingle Creek Crossing,  
Brooklyn Center, MN 55430 |  
03-118-21-41-0037

**BRIEF STATEMENT OF CONTENTS OF PETITION:** The Applicant is requesting review of a proposal to convert the former Discount Tire located within the Shingle Creek Crossing shopping center to an Icon Beauty retail store.

Comments and questions may be forwarded to [gmcintosh@brooklyncentermn.gov](mailto:gmcintosh@brooklyncentermn.gov) up until 4:30 pm on the day of the meeting, or by contacting Ginny McIntosh at (763) 569-3319. Your comments will be included in the record and addressed as part of the meeting. Alternatively, you may participate in the Planning Commission meeting via Webex at: [logis.webex.com](https://logis.webex.com)

Meeting Number (Access Code):  
2630 681 9880  
Password: BCPC03142024  
By Phone: 1 (312) 535-8110 (Enter Access Code)

Auxiliary aids for persons with disabilities are available upon request at least 96 hours in advance. Please contact the City Clerk at (763) 569-3300 to make arrangements.

Ginny McIntosh  
Planning Manager

Published in the  
Sun Post  
February 29, 2024  
1376928

**From:** Matt Durand <mattdurand@holidayss1.com>  
**Sent:** Monday, March 11, 2024 12:15 PM  
**To:** Ginny McIntosh  
**Subject:** New Tennant at Discount Tire

Hi Ginny,

Hope all is going well with you! I just received the letter in the mail regarding the new tenant to occupy the Discount Tire. As an owner of two business located near this, I wanted to express my 100% support of the new Icon Beauty retail store. I believe this business will do very well in that space and am looking forward to the Discount Tire space being filled. Please use this letter to reflect a local business who supports this new occupancy.

Hope to see more of these letters in the near future.

Regards,

**Matt Durand**  
Holiday Stationstore Franchise President/Owner  
[mattdurand@holidayss1.com](mailto:mattdurand@holidayss1.com)





Community Development  
763-569-3300

March 4, 2024

## Icon Beauty

Building review comments for a newly proposed Icon Beauty to be located at 1450 Shingle Creek Crossing

1. Prior to a Building permit being issued. A SAC determination for the new building use will need to be done by MET Council and SAC determination letter received.
2. Separate permits and signed plans required for Building, Mechanical, Plumbing & Electrical. A Fire sprinkler permit with plans may be required to be submitted to the Building Department for this building review. The Community Development department must be contacted on all proposed signage for this building. Permits are required for all exterior signage.
3. The Existing S1 occupancy side (Repair Garage) was not constructed as a conditioned space and will be used as a retail space. Exterior CMU walls were not insulated. MN ASHRAE 90.1 requires Alterations of existing buildings or changes in space conditioning shall be brought into compliance with all the applicable requirements that would apply to the building envelope as if the building was new.
6. Flammable interceptors as indicated on original plans shall be properly abandoned. All floor drains, trench drains and floor sink shall be capped at inlet and piping at discharge before entering the flammable interceptor. The Flammable interceptor shall have its openings capped/sealed and the discharge pipe leading to the City Sanitary.
7. Open grates on mezzanine floor shall remain open for fire protection or if covered, Fire protection shall be provided under mezzanine per NFPA 13.

Sincerely,

Dan Grinsteiner  
Building Official  
City of Brooklyn Center  
763-569-3313

**MEMORANDUM**

**DATE:** February 27, 2024  
**TO:** Ginny McIntosh, City Planner/Zoning Administrator  
**FROM:** James Soltis, P.E., Assistant City Engineer  
**SUBJECT:** Preliminary Site Plan Review – 1450 Shingle Creek Crossing-Icon Beauty (former Discount Tires)

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Public Works staff reviewed the following documents submitted for review for 1450 Shingle Creek Crossing-Icon Beauty (former Discount Tires)

- Preliminary Plans dated February 13, 2024

Subject to final staff approval, the referenced plans must be revised in accordance with the following comments/revisions and approved prior to issuance of Land Alteration permit.

**SWPPP & Erosion Control:**

1. No site work plan was submitted, an engineering review was not performed. Should the applicant disturb more than 10,000 square feet, an erosion control plan is needed.

**General Comments**

2. The applicant shall be responsible for coordinating site development plans with all private utility companies (Xcel Energy, CenterPoint Energy, CenturyLink Communications, Comcast, etc.). Any further easements necessary to provide utility service to the proposed site development shall be dedicated to the public for public use with the final plat.

**Anticipated Permitting**

3. Other permits not listed may be required and is the responsibility of the developer to obtain and warrant.

**Prior to Issuance of Land Alteration**

4. Copies of all required permits must be provided to the City prior to issuance of applicable building and land disturbance permits.

The aforementioned comments are provided based on the information submitted by the applicant at the time of this review. Other guarantees and site development conditions may be further prescribed throughout the project as warranted and determined by the City.